



Syracuse City Planning Commission Meeting April 2, 2019

Begins at 6:00 p.m. in the City Council Chambers
1979 West 1900 South, Syracuse, UT 84075

Regular Meeting Agenda

PLANNING COMMISSIONERS

CHAIR

Brett Cragun

VICE CHAIR

Larry Johnson

Curt McCuiston

Greg Day

Dale Rackham

Grant Thorson

Ralph Vaughan

G. Ivy Ruelan

1. Meeting Called to Order

- Invocation or Thought by Commissioner **Rackham**
- Pledge of Allegiance by Commissioner **Thorson**
- Adoption of Meeting Agenda

2. Meeting Minutes

- March 19, 2019 Regular Meeting and Work Session

3. Public Comment

this is an opportunity to address the Planning Commission regarding your concerns or ideas, regarding items that have not been scheduled for a public hearing on this agenda. Please limit your comments to three minutes.

4. Public Hearing – Request from Utah Land Surveying for a Subdivision Amendment called Cherry Village Subdivision No 1 Amended 1, approx. 0.49 acres located 2262 W 1825 S

5. Public Hearing – Proposed Text Amendment to §10.80 Cluster Subdivision (Major Conditional Use)

6. Public Hearing – Engineering Standards Update

7. Final Plat – Legend Pointe Subdivision Phase 1, located approx. 900 S 3695 W

8. Adjourn

Work Session

1. Department Business

- a. City Council Liaison Report
- b. City Attorney Updates
- c. Upcoming Agenda Items

2. Discussion Items

- a. Vision 2050 Discussion

3. Commissioner Reports

4. Adjourn

NOTE

If you wish to attend a particular agenda item, please arrive at the beginning of the meeting. In compliance with the Americans Disabilities Act, those needing auxiliary communicative aids and services for this meeting should contact the City Office, at 801-614-9626, at least 48 hours prior to the meeting.

Meetings of the Syracuse Planning Commission may be conducted via electronic means pursuant to Utah Code Ann. §52-4-207. In such circumstance, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Rules, Policies and Procedures established by the Governing Body for electronic meetings.

CERTIFICATE OF POSTING

This agenda was posted on the Syracuse City Hall Notice Boards, the State Public Notice website at <http://www.utah.gov/pmn/index.html>, and the Syracuse City website at <http://www.syracuseut.com>.



PLANNING COMMISSION

AGENDA

April 2, 2019

Agenda Item # 2

Meeting Minutes

- March 19, 2019 Regular Meeting and Work Session

Minutes of the Syracuse Planning Commission Regular Meeting, March 19, 2019

Minutes of the Regular Meeting of the Syracuse City Planning Commission held on March 19, 2019, at 6:00 p.m., in the Council Chambers, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present: Commission Members: Brett Cragun, Chair
Larry Johnson, Vice Chair
Curt McCuiston
Greg Day
Ralph Vaughan
Dale Rackham
Gretchen Ivy Ruelan

City Employees: Noah Steele, Community & Economic Development Director
Royce Davies, Planner
Heather Davies, Administrative Professional
Paul Roberts, City Attorney
Brian Bloeman, City Engineer
Jo Hamblin, Deputy Fire Chief

City Council: Councilwoman Corrine Bolduc

Excused: Grant Thorson

Visitors: **Derek Terry**

[6:02:56 PM](#)

1. Meeting Called to Order:

Chair Cragun called the meeting to order. Commissioner Day provided an invocation. The Pledge of Allegiance was led by Commissioner Vaughan.

[6:04:14 PM](#)

With the absence of Commissioner Thorson, Commissioner Ruelan is an alternate who will be voting. COMMISSIONER **VAUGHAN** MADE A MOTION TO ADOPT THE PLANNING COMMISSION AGENDA FOR THE MARCH 19, 2019 MEETING AGENDA. THE MOTION WAS SECONDED BY COMMISSIONER **JOHNSON**. ALL WERE IN FAVOR, THE MOTION CARRIED UNANIMOUSLY.

[6:05:03 PM](#)

2. Meeting Minutes:

COMMISSIONER **VAUGHAN** MADE A MOTION TO APPROVE THE MEETING MINUTES FOR BOTH FEBRUARY 19, 2019 REGULAR MEETING AND WORK SESSION AND MARCH 5, 2019 REGULAR MEETING AND WORK SESSION. COMMISSIONER **DAY** SECONDS THE MOTION. ALL IN FAVOR, THE MOTION PASSES UNANIMOUSLY.

[6:05:57 PM](#)

3. Public Comment: This is an opportunity to address the Planning Commission regarding your concerns or ideas, regarding items that have not been scheduled for a public hearing on this agenda. Please limit your comments to three minutes.

Open public comment.

[6:06:28 PM](#)

Close public comment.

[6:06:34 PM](#)

4. Public Hearing – Request from Woodside Homes for a Site Plan called Still Water Clubhouse, located 1793 W Ash Drive

Mr. Royce Davies, City Planner, shares with the Commission the site plan that Woodside Homes has provided. This Clubhouse is an opt in only for the existing Still Water developments. There are still some Engineering comments that have yet to be addressed in regard to Storm Water. Staff recommends conditional approval.

[6:12:40 PM](#)

Mr. Derek Terry, the applicant, shares that he is in contact with the City Engineer and is will be adjusting his plans to meet the engineer's comments.

[6:13:29 PM](#)

Commissioner Vaughan questions Mr. Terry as to whether or not there is direct access from the trail to the Clubhouse. Mr. Terry shares that there is keycard access to the Clubhouse, and it will be HOA maintained. Mr. Vaughan questions the security of the facility and how to maintain "jumpers" from accessing the Clubhouse.

[6:16:59 PM](#)

Open Public Hearing.

64 [6:17:16 PM](#)

65 Close Public Hearing.

66 [6:17:26 PM](#)

67 Commissioner Vaughan questions how to address the security in those who don't have access to the Clubhouse as
68 well as general pool safety requirements.

69 [6:20:04 PM](#)

70 Chair Cragun asks a legal question to the City Attorney.

71 [6:20:34 PM](#)

72 COMMISSIONER **JOHNSON** MOVED THE PLANNING COMMISSION TO APPROVE THE REQUEST OF
73 WOODSIDE HOMES OF UTAH LLC FOR A RESIDENTIAL CLUBHOUSE SITE PLAN LOCATED AT 1793 W ASH DRIVE IN
74 THE RPC RESIDENTIAL ZONE WITH THE CONDITION THAT STAFF COMMENTS BE ADDRESSED. COMMISSIONER
75 **MCCUISTION** SECONDED THE MOTION. THIS MOTION PASSES 7-0 VOTE.

76 [6:21:25 PM](#)

77 **5. Adjourn**

78 COMMISSIONER **DAY** MADE A MOTION TO ADJOURN TO WORK SESSION. COMMISSIONER **RACKHAM**
79 SECONDED THE MOTION. ALL WERE IN FAVOR, THE MOTION CARRIED UNANIMOUSLY.

80
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86 _____
87 Brett Cragun, Chairman

Date Approved: _____

Commission Secretary

Minutes of the Syracuse Planning Commission Work Session, March 19, 2019

Minutes of the Syracuse City Planning Commission Work Session held on March 19, 2019, at 6:00 p.m., in the Council Chambers, 1979 West 1900 South, Syracuse City, Davis County, Utah.

Present:

Commission Members:	Brett Cragun, Chair Larry Johnson, Vice Chair Curt McCuistion Greg Day Ralph Vaughan Dale Rackham G. Ivy Ruelan
City Employees:	Noah Steele, Community & Economic Development Director Royce Davies, Planner Heather Davies, Administrative Professional Paul Roberts, City Attorney Brian Bloeman, City Engineer Jo Hamblin, Deputy Fire Chief
City Council:	Councilwoman Corrine Bolduc
Excused:	Grant Thorson
Visitors:	

6:23:10 PM

Chair Cragun starts the Work Session.

6:23:23 PM

1. Department Business:

a. City Council Liaison Report

Councilwoman Bolduc shares:

- The Council has come to some consensus with the PRD Zone
- The sell of the house on 500 W was approved as well as the road expansion of that same road

6:24:33 PM

b. City Attorney Updates

Paul Roberts, City Attorney, stated that he has nothing.

6:24:39 PM

c. Upcoming Agenda Items

Mr. Davies shares the following items are as follows:

- Cherry Village Plat Amendment
- Hunter's Glen Phase 1 Final Plat – with a name change
- Cluster Subdivision ordinance potentially
- Vision 2050 Meetings

6:26:11 PM

2. Discussion Items:

a. Proposed Text Amendment to Syracuse Code 10.80 Cluster Subdivision (Major Conditional Use)

Mr. Noah Steele, Community Economic Development Director, shares that currently the Cluster Subdivision is a Major Conditional Use on top of the R-1 Zone. Mr. Steele reads through the draft ordinance amendments.

6:33:13 PM

Commissioner Vaughan approves of the changes. Commissioner Rackham shares some concerns for the conditional use within that zone. There is discussion as to what the Commission would like removed/added to the text.

6:37:09 PM

Commissioner Ruelan gives comments on the potbellied pigs. There is more discussion as to what to keep or remove from the proposed text amendments. There is discussion as to Minor/Major Home Occupation. Move to Public Hearing for next meeting.

7:09:49 PM

3. Commissioner Reports

Commissioner Vaughan shares information on the West Davis Corridor meeting that was held tonight at this same time as this meeting. Commissioner Vaughan shares concerns for Staff and the Planning Commission not being in attendance for that meeting.

[7:11:40 PM](#)

4. Adjourn

COMMISSIONER **RACKHAM** MADE A MOTION TO ADJOURN. COMMISSIONER **JOHNSON** SECONDED THE MOTION. ALL WERE IN FAVOR. MOTION PASSES UNANIMOUSLY.

DRAFT



PLANNING COMMISSION

AGENDA

April 2, 2019

Agenda Item # 3

Public Comment:

This is an opportunity to address the Planning Commission regarding your concerns or ideas, regarding items that have not been scheduled for a public hearing on this agenda. Please limit your comments to three minutes.



PLANNING COMMISSION REGULAR MEETING

April 2, 2019

ADMINISTRATIVE ITEM

Agenda Item # 4

Cherry Village Phase 1 Amendment 1

Factual Summation

Please review the following information. Any questions regarding this agenda item may be directed to Royce Davies, City Planner or Noah Steele, Planning Services Director.

Location:	2262 West 1825 South
Current Zoning:	R-2
General Plan:	R-2
Total Subdivision Area:	0.49 Acres
Number of Lots:	1

Summary

The applicant has requested approval of an amendment to his lot that will extend the rear property line to the north approximately 108 feet. The property owner to the north is selling property to make this possible. Because the applicant's property is in a platted subdivision, the amendment is being brought before the Planning Commission for approval. The lot to the north is a meets and bounds lot and as such, is not being included in the plat.

While most of the staff comments were addressed in this iteration of the plat, some comments still remain.

No new lots are being created in this plat.

Recommendation

Because there are outstanding staff comments on the plat and the comments do not substantially change any parts of the plat, staff recommends it be **conditionally approved**.

Suggested Motion Language

Approval – “I move the Planning Commission **approve** the request of Adam Arnell for approval of a subdivision plat amendment called Cherry Village No. 1 Amendment 1 at 2262 West 1825 South in the R-2 Zone with the following condition:

1. All staff comments shall be addressed before the plat is recorded with Davis County.

Table – “I move the Planning Commission **continue** the request of Adam Arnell for approval of a subdivision plat amendment called Cherry Village No. 1 Amendment 1 at 2262 West 1825 South in the R-2 Zone until (give date) based on the following findings:

1. (list findings)”

Denial – “I move the Planning Commission **deny** the request of Adam Arnell for approval of a subdivision plat amendment called Cherry Village No. 1 Amendment 1 at 2262 West 1825 South in the R-2 Zone based on the following findings:

1. (list findings).”


Attachments:

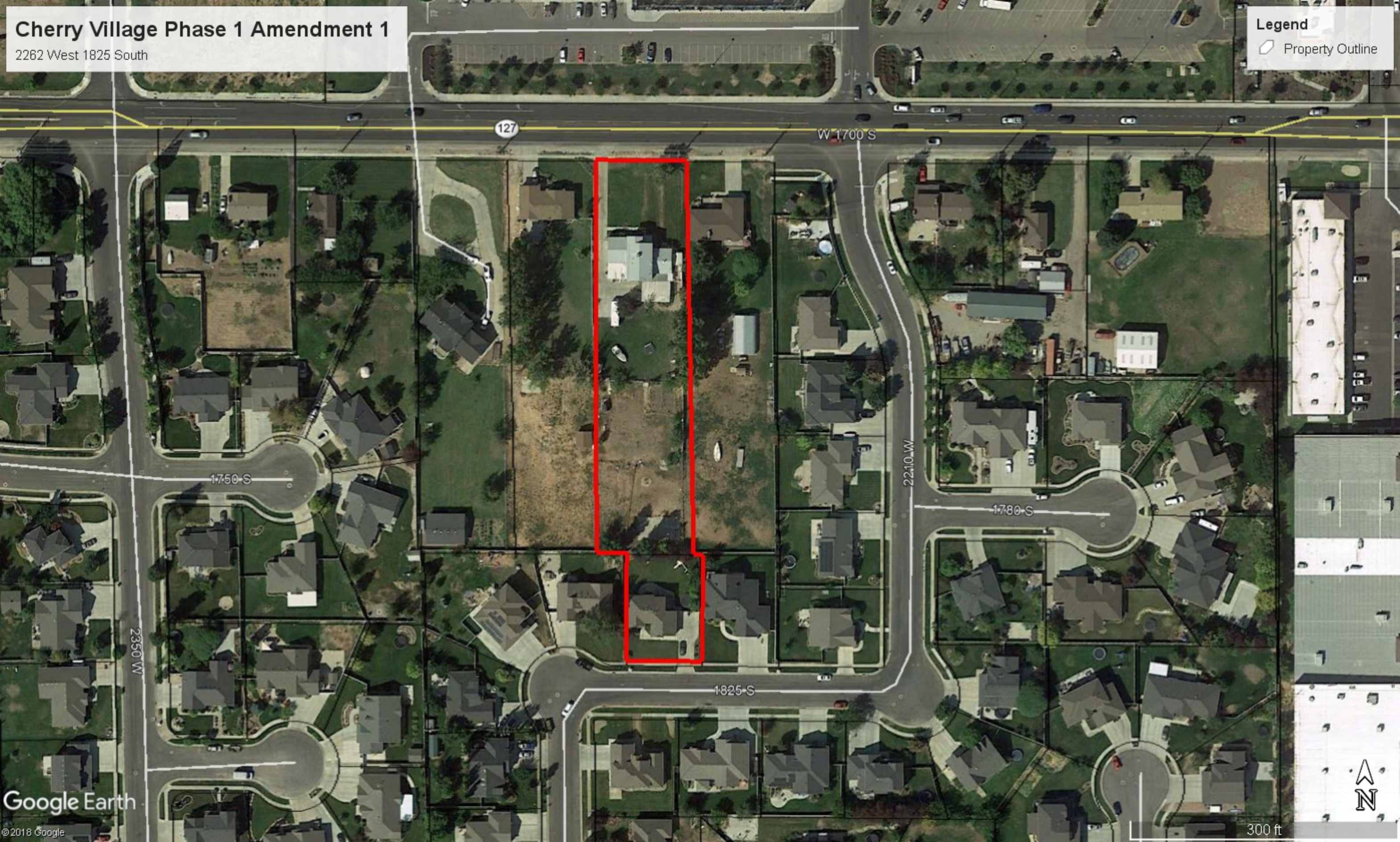
- Aerial Map
- General Plan Map
- Zoning Map
- Plat
- R-2 Zoning Ordinance
- Staff Reviews

Cherry Village Phase 1 Amendment 1

2262 West 1825 South

Legend

 Property Outline

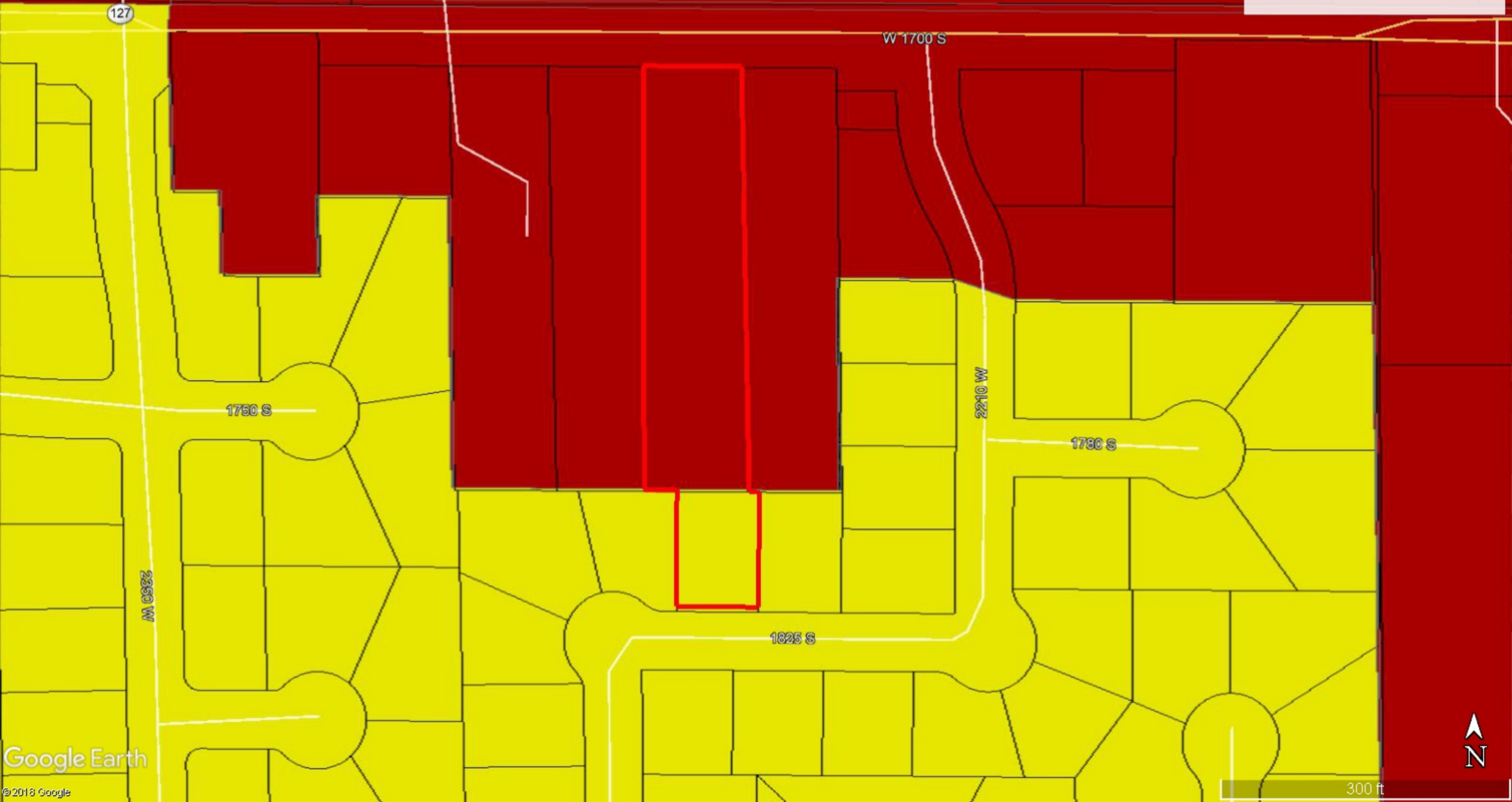


Cherry Village Phase 1 Amendment 1 General Plan

2262 West 1825 South

Legend

- General Commercial
- Property Outline
- R-2 (3.79 dwellings per net acre)



Cherry Village Phase 1 Amendment 1 Zoning

2262 West 1825 South

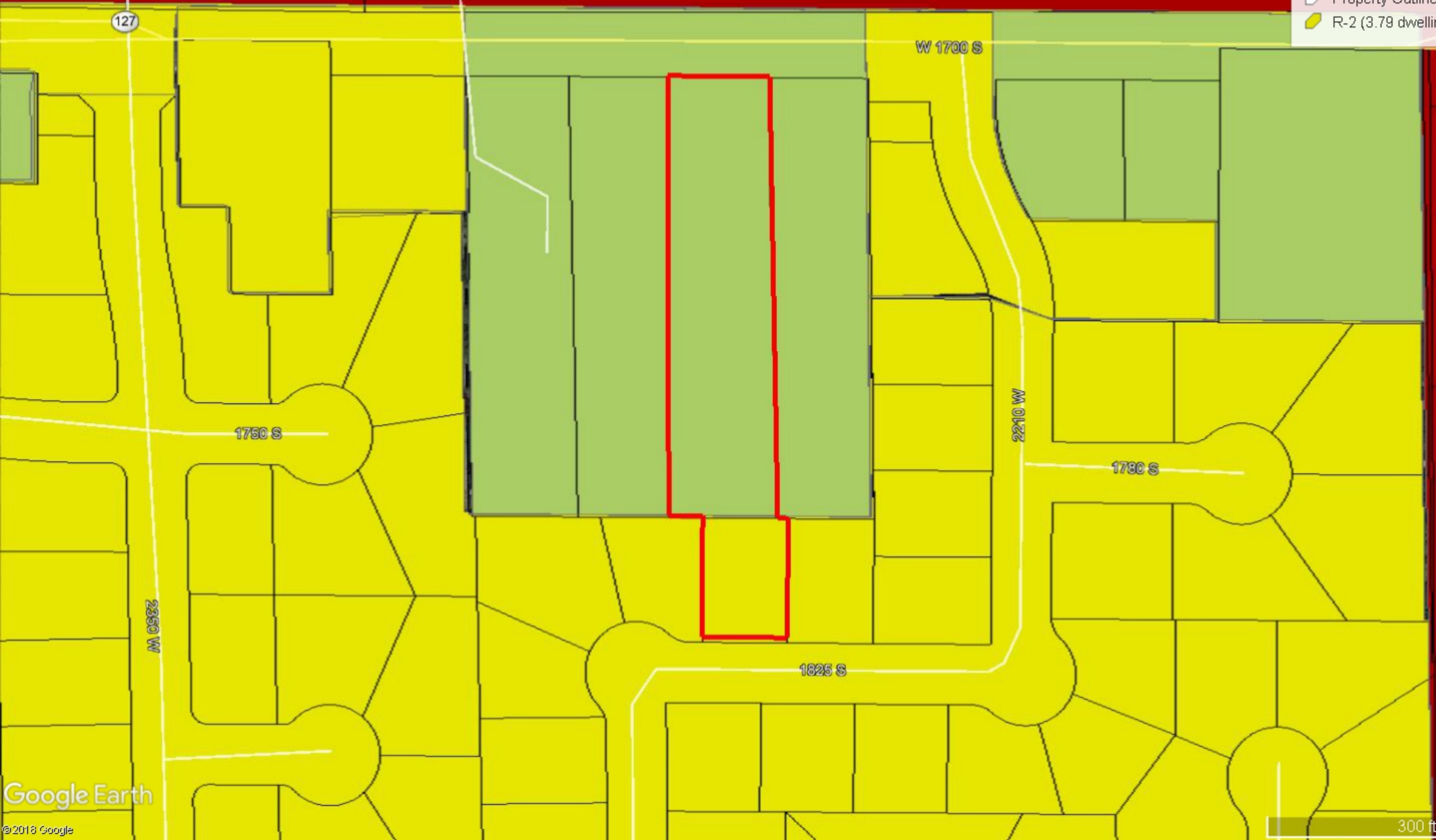
Legend

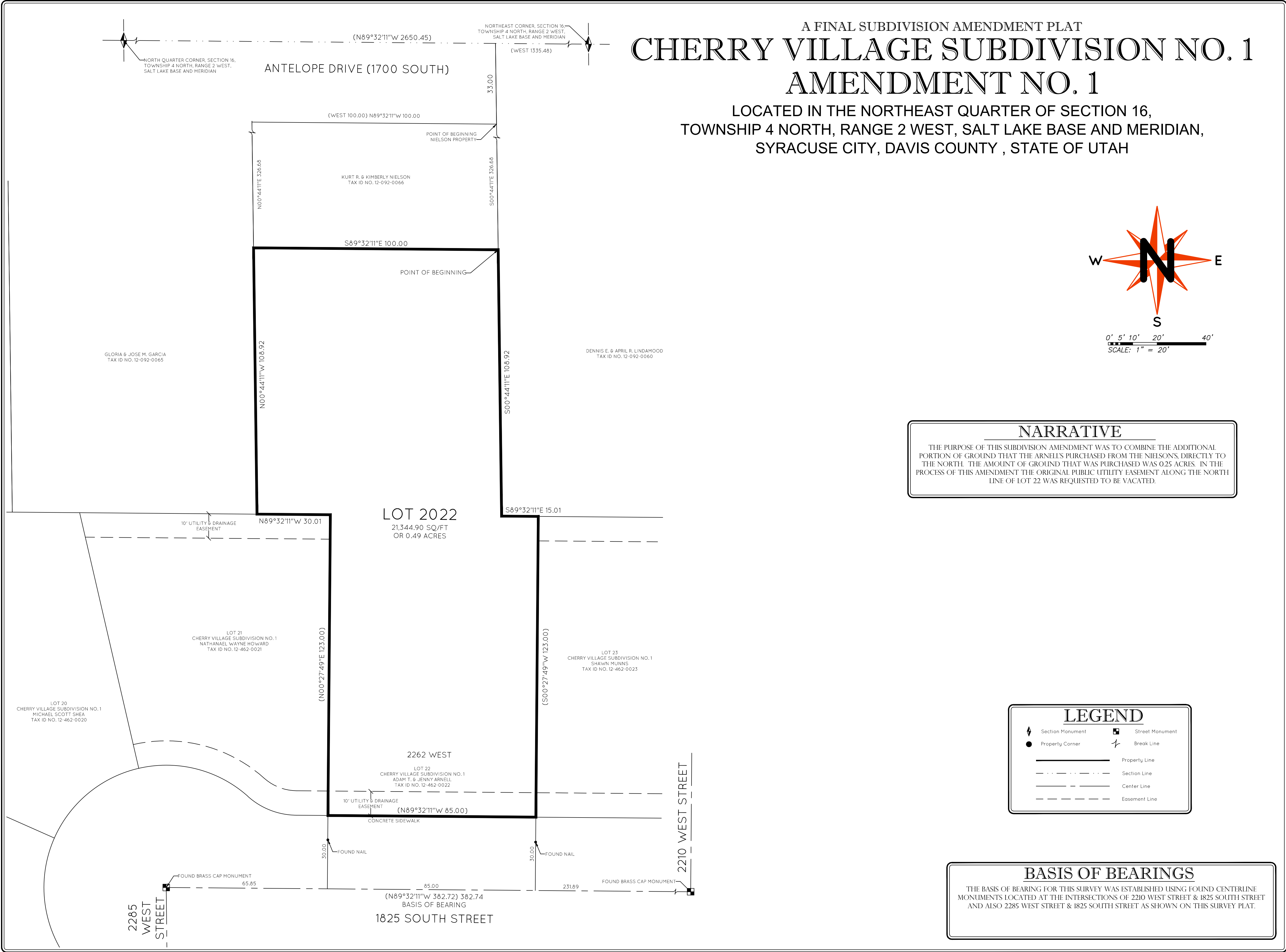
A-1

General Commercial Zone

Property Outline

R-2 (3.79 dwellings per net acre)





SURVEYOR'S CERTIFICATE

I MICHAEL L. WANGEMANN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6431156, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH, I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, HEREAFTER TO BE KNOWN AS THE **CHERRY VILLAGE SUBDIVISION NO. 1 AMENDMENT NO. 1** AND THAT SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.



Michael L. Wangemann, PLS

Date of Plat or Map: March 27, 2019

PLS# 6431156-2201

LEGAL DESCRIPTION

BEGINNING AT A POINT THAT IS NORTH 89°32'11" WEST ALONG THE SECTION LINE 1335.48 FEET AND SOUTH 00°44'11" EAST 359.68 FEET FROM THE NORTHEAST CORNER, SECTION 16, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE SOUTH 00°44'11" EAST 108.92 FEET TO THE NORTH LINE OF CHERRY VILLAGE SUBDIVISION NO. 1; THENCE SOUTH 89°32'11" EAST 15.01 FEET TO THE NORTHEAST CORNER OF LOT 22, CHERRY VILLAGE SUBDIVISION NO. 1; THENCE ALONG THE EAST, SOUTH AND WEST LINES OF SAID LOT 22 THE FOLLOWING THREE (3) COURSES: SOUTH 00°27'49" WEST 123.00 FEET; THENCE NORTH 89°32'11" WEST 85.00 FEET; THENCE NORTH 00°27'49" EAST 123.00 FEET; THENCE NORTH 89°32'11" WEST 30.01 FEET; THENCE NORTH 00°44'11" WEST 108.92 FEET; THENCE SOUTH 89°32'11" EAST 100.00 FEET TO THE POINT OF BEGINNING.

CONTAINS 21,344.90 SQ/FT OR 0.49 ACRES

NARRATIVE

THE PURPOSE OF THIS SUBDIVISION AMENDMENT WAS TO COMBINE THE ADDITIONAL PORTION OF GROUND THAT THE ARNELLS PURCHASED FROM THE NIELSONS, DIRECTLY TO THE NORTH. THE AMOUNT OF GROUND THAT WAS PURCHASED WAS 0.25 ACRES. IN THE PROCESS OF THIS AMENDMENT THE ORIGINAL PUBLIC UTILITY EASEMENT ALONG THE NORTH LINE OF LOT 22 WAS REQUESTED TO BE VACATED.

OWNER'S DEDICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME TRACT INTO LOTS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT **CHERRY VILLAGE SUBDIVISION NO. 1 AMENDMENT NO. 1**, AND DO HEREBY DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS AS SHOWN HEREON TO BE USED BY THE PUBLIC UNTIL SUCH TIME THAT THE ROAD IS EXTENDED.

IN WITNESS WE HAVE HEREUNTO SET OUR SIGNATURE THIS _____ DAY OF _____, 2019.

ADAM ARNELL

JENNY ARNELL

INDIVIDUAL ACKNOWLEDGEMENT

STATE OF UTAH }
COUNTY OF DAVIS }SS

ON THIS _____ DAY OF _____, 2019, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, THE SIGNER(S) OF THE ABOVE OWNERS DEDICATION, WHO DULY ACKNOWLEDGED TO ME THEY SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

RESIDING AT: _____

COMMISSION EXPIRES: _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

PRINT NAME

UTAH LAND SURVEYING, LLC
A PROFESSIONAL LICENSED LAND SURVEYING COMPANY



1359 FAIRWAY CIR
FARMINGTON, UT 84025

PHONE 801.725.8395
FAX 801.820.7775

www.utahlandsurveying.com

SHEET
1 OF 1

SYRACUSE CITY PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE MINIMUM REQUIREMENTS OF THE SUBDIVISION ORDINANCE OF SYRACUSE CITY, AND CONFORMS WITH THE APPROVED PRELIMINARY PLAT, AS REVIEWED AND APPROVED BY THE SYRACUSE CITY PLANNING COMMISSION AND THE MAYOR OF SYRACUSE CITY, PREREQUISITE TO FINAL PLAT APPROVAL BY THE MAYOR OF SYRACUSE CITY.

SIGNED THIS _____ DAY OF _____, 2019.

MANAGER, PLANNING DIVISION

SYRACUSE CITY ATTORNEY'S OFFICE

APPROVED BY THE SYRACUSE CITY ATTORNEYS' OFFICE
THIS _____ DAY OF _____, 2019.

SYRACUSE CITY ATTORNEY

SYRACUSE CITY APPROVAL

THIS PLAT AND ANY DEDICATIONS OFFERED HEREIN ARE APPROVED AND ACCEPTED BY THE MAYOR OF SYRACUSE CITY THIS _____ DAY OF _____, 2019.

ATTEST TITLE

MAYOR

SYRACUSE CITY ENGINEER

I HEREBY CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES PREREQUISITE TO CITY ENGINEER APPROVAL OF THE FOREGOING PLAT AND DEDICATIONS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 2019.

SYRACUSE CITY ENGINEER

COUNTY RECORDER No. _____

STATE OF UTAH, COUNTY OF DAVIS, RECORDED AND FILED AT THE REQUEST OF

DATE _____ TIME _____ FEE _____

BOOK _____

PAGE _____

COUNTY RECORDER

R-2 ZONING ORDINANCE

10.65.010 Purpose.

The purpose of this zone is to provide for moderate density single-family residential development that conforms to the system of services available.

10.65.020 Permitted uses.

The following, and no others, are uses permitted by right provided the parcel and building meet all other provisions of this title and any other applicable ordinances of Syracuse City.

(A) Accessory uses and buildings (200 square feet or less).

(B) Agriculture.

(C) Churches, synagogues, and temples.

(D) Dwellings, single-family.

(E) Educational services.

(F) Household pets.

(G) Minor home occupations.

(H) Public and quasi-public buildings.

(I) Public parks.

(J) Rabbits and hens.

(K) Residential facilities for persons with disabilities.

(L) Vietnamese potbellied pigs.

10.65.030 Conditional uses.

The following, and no others, may be conditional uses permitted after application and approval as specified in SCC 10.20.080:

(A) Accessory uses and buildings (greater than 200 square feet) (minor).

(B) Apiaries (minor).

(C) Day care centers (major).

(D) Dwellings, accessory (major/minor, see SCC 10.30.020).

(E) Dwelling groups (major).

(F) Dog kennels (minor).

(G) Home occupations (major).

(H) Temporary commercial uses (see SCC 10.35.050) (minor).

(I) Temporary use of buildings (see SCC 10.30.100(A)(12)) (minor).

10.65.040 Minimum lot standards.

All lots shall be developed and all structures and uses shall be placed on lots in accordance with the following standards:

(A) Density: minimum lot size 10,000 square feet, but in no case shall the density exceed 3.0 lots per gross acre.

(B) Lot width: 85 feet.

(C) Front yard: 25 feet.

(D) Side yards: eight feet (both sides).

(E) Rear yard: 30 feet.

(F) Building height: as allowed by current building code.

(G) Variation of lot: the Land Use Authority may reduce the lot width requirement in particular cases when a property owner provides evidence they acquired the land in good faith and, by reason of size, shape, or other special condition(s) of the specific property, application of the lot width requirement would effectively prohibit or unreasonably restrict the ability to subdivide the property or a reduction of the lot width requirement would alleviate a clearly demonstrable hardship as distinguished from a special privilege sought by the applicant. The Land Use Authority shall approve no lot width reduction without a determination that:

(1) The strict application of the lot width requirement would result in substantial hardship;

(2) Adjacent properties do not share generally such a hardship and the property in question has unusual circumstances or conditions where literal enforcement of the requirements of the zone would result in severe hardship;

(3) The granting of such reduction would not be of substantial detriment to adjacent property or influence negatively upon the intent of the zone;

(4) The condition or situation of the property concerned or the intended use of the property is not of so general or recurring a nature as to detract from the intention or appearance of the zone as identified in the City's general plan.

10.65.050 Off-street parking and loading.

Off-street parking and loading shall be provided as specified in Chapter 10.40 SCC.

10.65.060 Signs.

The signs permitted in this zone shall be those allowed in residential zones by Chapter 10.45 SCC.



Cherry Village Subdivision Amendment No.1

2262 West 1825 South

Engineer Plat Amendment Review

Completed by Brian Bloemen on March 27, 2019

Plat:

1. Add signature blocks for the utility companies.
2. Show all existing easements.

If you have any further comments or questions, please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen, P.E.
City Engineer



TO: Community Development, Attention: Noah Steele
FROM: Jo Hamblin, Fire Marshal
RE: Arnell Preliminary Plat

DATE: March 18, 2019

I have reviewed the plan submitted for the above referenced project. The Fire Prevention Division of this department does not have any comments/concerns.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and may have their requirements. This review by the Fire Department must not be construed as final approval by Syracuse City.



Mayor
Mike Gailey

Subdivision Amendment Plan Review

City Council
Corinne Bolduc
Lisa Bingham
David Maughan
Jordan Savage
Doug Peterson

City Manager
Brody Bovero

3/29/2019

Dear Applicant,

The Syracuse City Community and Economic Development Department has conducted a review of the Cherry Village No. 1 Amendment 1 Plan for compliance with the city's adopted land use ordinance. Please refer to the following table for items that require additional attention.

1. While the level of preliminary detail on the plat is appreciated, the plat should be drawn in final plat format with the following:
 - a. Owner's Dedication with the following language:
 - i. "warrant and defend and save the City harmless against any easements or other encumbrances on the dedicated streets which will interfere with the City's use, maintenance and operation of the streets."
 - b. The Planning Commission box should refer to the Planning Commission Chair, not the Planning Division Manager.
 - c. Public Utilities approval and acceptance of public utility easements.

Please contact me with any questions concerning this project.

Regards,

Royce Davies
City Planner
(801) 614-9632
rdavies@syracuseut.com



PLANNING COMMISSION AGENDA

April 2, 2019

Agenda Item # 5

Public Hearing: Amendment to R-1 Cluster

The City Council desires to change R-1 Cluster from a major conditional use permit to a freestanding zone. Please find attached a draft ordinance amendment that incorporates comments recieved by this body on 3/19/19.

Chapter 10.80

CLUSTER SUBDIVISION (~~MAJOR CONDITIONAL USE~~)

Sections:

- 10.80.010 Purpose.
- 10.80.020 Development requirements.
- 10.80.030 Permitted uses.
- 10.80.040 Repealed.
- 10.80.050 Design standards.
- 10.80.060 Approval.
- 10.80.070 Development plan and agreement requirements.

10.80.010 Purpose

~~Cluster subdivisions may receive approval for a major conditional use permit in the R-1 residential zone. The purpose of this chapter is to encourage open space conservation and imaginative and efficient utilization of land by providing greater flexibility in the location of buildings on the land and the clustering of dwelling units. This will allow the developer to more closely tailor a development project to a specific user group, such as retired persons or equestrian-oriented development. The Land Use Authority shall not grant such a conditional use unless the cluster subdivision meets the regulations of the applicable zone in which it resides, except as may lawfully be modified by City Council approval. The application of cluster concepts is intended to encourage good neighborhood design and preserve open space while ensuring substantial compliance with the intent of the subdivision and land use ordinances. [Ord. 15-24 § 1 (Exh. A); Ord. 11-13 § 1; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Ord. 03-08; Code 1971 § 10-16-010.]~~

10.80.020 Development requirements

- (A) Acreage. A cluster subdivision shall have a minimum of 10 acres of contiguous land area.
- (B) Phasing. The proposed development plan shall include all possible future phases. No additional phases shall be permitted beyond the original concept. Adjacent property developed similarly shall be a separate development and shall meet all requirements independently from any adjacent development.
- (C) Ownership. The development shall be in single or corporate ownership at the time of application or the subject of an application filed jointly by all owners of the property.
- (D) The Land Use Authority shall require that the arrangement of structures and open spaces be developed in such a manner as to prevent any adverse effects on adjacent properties.
- (E) Density. The density of dwellings in a cluster subdivision shall not exceed ~~4-6~~ 2.3 units per acre.

(F) Minimum Lot Standards. Approval of the development plan shall determine lot area, lot width, setbacks, and lot coverage ~~regulations for multifamily structures~~, with a minimum separation of 16 feet between structures.

~~Single-family detached~~ All lots shall have the following minimum lot standards:

- (1) Density. Maximum density is calculated by multiplying the development's gross acreage by 50 percent, and then multiplying the remaining acreage by ~~4.6~~ 2.3 units per acre.
- (2) Minimum lot area: 7,000 square feet.
- (3) Lot width: 60 feet.
- (4) Setbacks:
 - (a) Front: 15 feet.
 - (b) Garage: 20 feet.
 - (c) Side: eight feet.
 - (d) Rear: 20 feet.
 - (e) Corner lot side: 20 feet.

(G) Homeowners' Association. The development shall have a lawfully organized and professionally managed homeowners' association.

(H) Open Space and Common Space.

- (1) The development shall provide 50 percent open space. A minimum of 10 percent of the open space shall be common space.
- (2) Open space and common space shall not include streets, driveways, or parking areas.
- (3) Open space may include agricultural areas, recreation areas, and wetland preserve.
- (4) Open space not used for agriculture and wetland preserve shall be fully landscaped and developed with amenities as identified in the City's parks master plan for the enjoyment and full use of all residents of the development and/or the public.
- (5) Open space that is designated for agricultural use shall have a recorded perpetual conservation easement.
- (6) Open space shall not be enclosed with fencing, except as required per buffer table of this title.

(7) Common space shall be fully landscaped and developed with approved amenities for the enjoyment and full use of all residents of the development and/or the public.

(8) Common space shall be preserved, maintained and owned through the homeowners' association from the onset, or may be deeded to Syracuse City, if the developer makes the request and the City Council grants the request, at the City Council's sole discretion.

(I) Landscape Plan. The Land Use Authority shall review the landscape plan designed in accordance with an approved theme that provides unity and aesthetics to the project.

(1) Landscape plan shall be signed and stamped by a professional landscape architect.

(2) The landscaping plan shall indicate all special features, such as ponds, fountains, signs, walking paths, plant species and size, fencing, etc., together with a planting plan.

(3) Landscaping must be completed prior to approval of the next consecutive phase of the subdivision, or within the negotiated phasing per the development agreement.

(4) Street trees shall have a minimum two-inch caliper trunk size measured 12 inches above ground level, at the time of installation.

(5) Street trees shall be selected in accordance with the approved tree species in city code.

(6) Street trees shall be spaced according to the approved species and park strip width. In no case shall street trees be planted further than 50 feet apart.

(J) Sidewalks and Park Strips. The design and location of public sidewalks within a cluster subdivision shall be located in the public right-of-way and meet the following conditions:

(1) Sidewalks shall be a minimum of five feet wide and meet the minimum ADA standards.

(2) Parkstrips shall be a minimum of 10 feet wide.

(3) Meandering sidewalks shall be no closer than five feet to the back of curb.

(4) Sidewalk construction and utilities shall comply with the adopted Engineering Standards and Specifications.

(K) Trail System/Walking/Bike Paths.

(1) The development shall contain trail/walking/bike paths and shall connect to the City's trails system per the trail master plan, when applicable.

(2) Trail/walking/bike paths shall meet the City's Engineering Standards and Specifications.

(L) Signage. The development may include landscaped identification entry signs maintained by the homeowners' association.

(M) Due to the nature of cluster subdivisions and the fact that most of the usual dwellings have site restrictions and because the placement of dwellings and other structures on the site may produce a negative impact to surrounding land uses, the location, size, and general footprint of all dwellings and other main buildings shall be shown on the plans submitted for review.

(N) The proposed development shall not be detrimental to the health, safety, or general welfare of persons residing in the vicinity. [Ord. 15-24 § 1 (Exh. A); Ord. 13-15 § 1; Ord. 11-13 § 1; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; amended 1999; Code 1971 § 10-16-020.]

10.80.030 Permitted uses.

~~Uses permitted in the cluster subdivision shall be those uses permitted in the zoning district in which the subdivision is located; provided, that for purposes of this section, the single family dwelling designation shall include single-family attached dwellings such as town houses and row houses or zero lot line dwellings. A single structure shall have no more than four attached dwelling units. [Ord. 15-24 § 1 (Exh. A), Ord. 11-13 § 1; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Code 1971 § 10-16-030.]~~

The following, and no others, are uses permitted by right provided the parcel and buildings meet all other provisions of this title and any other applicable ordinances of Syracuse City.

(A) Accessory uses and buildings (200 square feet or less).

(B) Agriculture.

(C) Churches, synagogues, and temples.

(D) Dwellings, single-family.

(E) Educational services.

(F) Farm animal keeping (limited to the community open/common spaces and as specified in SCC 10.30.040).

(G) Farm industry (on a parcel of five acres or more and limited to the community open/common spaces).

(H) Fruit and vegetable stands.

(I) Household pets.

(J) Minor home occupations.

(K) Public parks.

(L) Residential facilities for persons with disabilities.

10.80.040 Conditional uses.

The following, and no others, may be conditional uses permitted after application and approval as specified in SCC 10.20.080:

- (A) Dwelling, accessory (minor, see SCC 10.30.020).
- (B) Greenhouses (minor) (Under 200 Square foot permitted, Over 200 sqft permitted in common area only)
- (C) Home occupations (major).
- (D) Private parks and recreational activities (minor).
- (E) Public and quasi-public buildings (major).

10.80.040-50 Bonus density incentives.

Repealed by Ord. 15-24. [Ord. 13-15 § 1; Ord. 11-13 § 1; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Code 1971 § 10-16-040.]

10.80.050 60 Design standards

(A) The development shall have restrictive covenants to facilitate superior architectural design elements.

(B) A common building theme shall be required and approved by the Planning Commission. The design shall show detail in the unification of exterior architectural style, color, and size of each unit; however, the intent is not to have the design so dominant that all units are identical.

(C) Patios shall not extend beyond the width of the primary structure and shall not extend beyond half the rear setback. Privacy fencing around a patio is allowed. [Ord. 15-24 § 1 (Exh. A); Ord. 11-13 § 1; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Code 1971 § 10-16-050.]

10.80.060 70 Approval

A cluster subdivision is a special type of subdivision ~~approved by major conditional use permit and~~, as such, shall meet design standards and be subject to all provisions of the Syracuse subdivision ordinance and submitted development plans. [Ord. 15-24 § 1 (Exh. A); Ord. 11-13 § 1; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Code 1971 § 10-16-060.]

10.80.070 80 Development plan and agreement requirements.

(A) Subdivision ordinance requirements shall apply to cluster subdivisions except where negotiated within the development agreement. The developer shall submit a residential development plan of all project phases for City consideration and approval and shall integrate the proposed development plan into a development agreement between the developer and City. The development agreement shall undergo an administrative review process to ensure compliance with adopted City ordinances and standards with approval by the City Council. The property shall be developed in accordance with the development agreement and current City ordinances, including the development requirements as identified within this chapter, in effect on the approval date of the agreement, together with the requirements set forth in the agreement, except when federal, state, county, and/or City laws and regulations, promulgated to protect the public's health, safety, and welfare, require future modifications under circumstances constituting a rational public interest. ~~The Land Use Authority shall use the submitted development plan and agreement with the design amenities and unique development features and merits of the development to determine overall development dwelling-unit density up to a maximum as determined by the bonus density calculations.~~

(B) The development plan submitted for review shall show the location and building elevations with exterior building materials, size, and general footprint of all dwelling units and other main buildings and amenities.

(C) The development plan submitted for review shall include landscaping, fencing, and other improvement plans for common or open spaces, with the landscaping designed in accordance with an approved theme to provide unity and aesthetics to the project. The plan shall include all special features, such as ponds, fountains, signs, walking paths, inviting entryways, etc., together with a landscape planting plan. Common space and recreational areas should be the focal point for the overall design of the development, with various community facilities grouped in places well related to these open spaces and easily accessible to pedestrians.

(D) The proposed development shall show it will not be detrimental to the health, safety, or general welfare of persons residing adjacent to the proposed development.

(E) A cluster subdivision community shall be of sufficient size, composition, and arrangement to enable its feasible development as a complete unit, professionally managed by a legally established owners' association and governed by enforceable, duly recorded CC&Rs.

(F) Developer shall prepare a budget for the homeowners' association operation and facilities maintenance. Developer shall establish a dedicated operating fund for the collection of homeowner dues and shall provide funding for said maintenance for the first three years' operating expenses of the homeowners' association or until developer owns less than 40 percent of the lots. When the developer owns less than 40 percent of the lots, developer shall pay dues on his remaining lots in accordance with the CC&Rs and fee schedule adopted by the homeowners' association. The CC&Rs will provide in the budget a depreciation estimate and provide for the collection of fees sufficient to meet the depreciation of infrastructure under control of the homeowners' association. [Ord. 15-24 § 1 (Exh. A); Ord. 13-15 § 1; Ord. 11-13 § 1; Code 1971 § 10-16-070.]



PLANNING COMMISSION

AGENDA

April 2, 2019

Agenda Item # 6

Public Hearing: Engineering Standards Update

Secondary metering for new construction is a requirement from the State Legislature beginning April 1, 2020. City Council has directed Staff to update the City's Engineering Standards to include the installation of secondary meters for all new construction.

The proposed changes to the Engineering Standards are shown in blue along with updating the Standard Drawings. Staff is recommending all new residential secondary services be set up for a 1-inch connection.

DIVISION 3A: PRESSURE IRRIGATION**Section 3A.01 GENERAL:**

This division covers furnishing and installing pressure pipe as shown on the Drawings or established in the field, and all flushing, testing, repairing, as required to ensure adequate and safe operation of the water system. Certification of all tests required by the American Water Works Association shall be provided by the manufacturer. The three-edge bearing test will be required, upon request of the inspector. All pipe shall be standard lengths except for making connections to valves, fittings, and other such closures. The minimum main diameter shall be eight (8)-inches.

Section 3A.02 DUCTILE IRON PIPE:**Sub-section A. Materials:**

Ductile iron pipe shall conform to all requirements of ANSI/AWWA C151/A21.51, "American National Standard for Ductile Iron Pipe, Centrifugally Cast in Metal Molds or Sand-Lined molds, for Water or Other Liquids." The minimum Pressure Class will be 200. If thickness class pipe is used, the minimum shall be Thickness Class 50.

All pipe shall be made of good quality ductile cast iron and of such chemical composition and structure as is required to meet the physical and mechanical property requirements of the standard.

Sub-section B. Joints:

All fittings, hydrants and joints shall have restrained or flanged joints installed. Push on or mechanical joints are not acceptable. Lubricants shall be non-toxic and have no deteriorating effects on gasket materials. It shall not impart taste to water in a pipe. It shall conform in every way to ANSI 21.1

1. Restrained Joints. All restrained joints shall meet requirements of ANSI/AWWA C111/A21.11. All gasket surfaces shall be smooth and free from imperfections. Gaskets shall conform to tests in accordance with specifications and shall be less than one year old. All restrained joint fittings shall have concrete thrust blocks as well.

2. Flanged Joints. Flanges, when required, shall conform to ANSI/AWWA C115/A21.15-83. Flanged joints shall meet the requirements of ANSI/AWWA C110/A21.10, "American National Standard for Ductile Iron and Gray Iron Fittings, 3-inch Through 48-inch for Water and Other Liquids." Flanged joints shall be bolted firmly with machine, stud, or cap bolts of proper size. Flanges may be cast integrally with the pipe or may be screwed on a threaded pipe. Flanges shall be faced and drilled and dimensioned properly for the size and pressure required. Bolts and nuts, unless otherwise specified, shall be made of the best quality refined iron or steel, and have clean, well-fitting threads. Bolts will be provided with standard hexagonal nuts and standard hexagonal heads. Bolts shall be of the diameter required for each flange, and when installed shall be of length so that no more than three-eighths inch (3/8") nor less than one-eighth inch (1/8") extends past the face of the nut. All buried metallic fittings and bolts shall be coated with a non-oxide wax and wrapped with polyethylene.

Gaskets shall be rubber, either ring or full face, and shall be one-eighth-inch (1/8") thick.

Sub-section C. Coatings and Linings for Ductile Iron Pipe:

All exterior surfaces of pipe and fittings shall be coated with hot coal tar at least one (1) mil thick. All interior surfaces shall be cement mortar lined with a standard thickness according to ANSI/AWWA C104/A21.4-80.

Sub-section D. Fittings:

Fittings for ductile iron pipe shall conform to the provisions of ANSI/AWWA C110/A21.10-82 or C153/A21.53-58. All elbows, 90° caps, and loops must be mega lugged. All fittings must be wrapped & greased before back fill. All fittings shall be Restrained-Joint or flanged type. All bolts shall be covered in food grade grease prior to placement of plastic.

Sub-section E. Locator Tape:

All pipe shall include a 3-inch warning tape installed in the pipeline trench approximately 12-inches above the pipe. Identification tape shall be furnished with white or black printing on a colored field having the words: "CAUTION: IRRIGATION LINE BURIED BELOW"

Section 3A.03 PVC PIPE:**Sub-section A. Materials:**

Pipe for the transmission and distribution of water shall be manufactured in accordance with AWWA C900-81, "AWWA Standard for Polyvinyl Chloride (PVC) Pressure Pipe, 4-inch through 12-inch, for Water." The PVC pipe shall have a cast-iron-pipe-equivalent outside diameter and be a minimum of DR-14 pipe

PVC pipe fourteen-inches (14") and larger shall be manufactured in accordance with AWWA C905-88, "AWWA Standard for Polyvinyl Chloride (PVC) Water Transmission Pipe, Nominal Diameters 14-inch through 36-inch" and be a minimum of DR-18 pipe. Pipe smaller than four-inches (4") shall be schedule 40 PVC.

Pipe shall be standard dimension riation pressure rated PVC pipe (SDR-RP-PVC) conforming to the latest revision of ASTM D2241 and the National Bureau of Standard Product Standard PS 22-70. The pipe shall be PVC Class 900 pipe shall meet the requirements of ASTM D 2241 except that the pipe shall have an outside diameter of ductile iron pipe sizes instead of iron pipe sizes. The PVC pipe shall meet the requirements of the AWWA C 900 with pressure clasp of 200 and the DR of not less than 14. Pipe shall be bell and spigot, twin gasket.

At least 85 per cent of the total footage shall be furnished in standard 20-foot lengths..

Color of all pressure pipes for irrigation water shall be purple.

Sub-section B. Joints:

Joints shall be push on rubber gasket type. Lubrication shall be water soluble, non-toxic, non-objectionable in taste and odor imparted to the water, non-supporting of bacteria growth, and have no deteriorating effect on the PVC pipe or rubber gaskets.

Jointing of all pipe shall be as recommended by the manufacturer. All pipes shall be handled in such a way so as to prevent damage to the coating and lining. Refer to backfilling specifications for proper bedding and compaction. Thrust blocking shall be applied at all tees, plugs, caps and at bends deflecting 11 1/4 degrees or more. All bolts shall be covered in food grade grease prior to placement of plastic. Prevention of concrete adhesion by means of 12 mil plastic sheeting to protect valves or pipe material shall be directed by the City Inspector.

Sub-section C. Fittings:

All fittings to be used with the PVC pipe shall be the same as fittings for ductile iron pipe and shall conform to the provisions of ANSI/AWWA C110/A21.10-82 or C153/A21.53-58. All fittings shall be Restrained Joint or flanged type unless otherwise specified by the Public Works Representative/Engineer.

Sub-section D. Locator Tape:

All pipe shall include a three-inch (3") locator tape installed in the pipeline trench approximately twelve inches (12") below the ground surface. This tape shall be prepared with white or black printing on a purple field, color Pantone 512C, having the words: "CAUTION: IRRIGATION LINE BURIED BELOW"

Sub-section E. Tracer Wire:

All pipe shall include a tracer wire installed at the same elevation as the centerline of the pipe. The wire shall be a 14 gauge solid insulated copper wire. The tracer wire shall be installed adjacent to and paralleling the pipe at a distance of no more than 6" from the outside edge of the pipe. At all tees the wire shall be properly spliced using a grease cap and wire nut or soldering. At all valves the wire shall be brought up into the valve box where it will be easily accessible. The City Public Works department shall oversee the connection points of the locator wire.

Copperhead Industries, LLC Snake Pit 14" Magnetized Tracer Box with purple cast iron top (CHLD14P) shall be installed at the nearest secondary service to each fire hydrant. The top of the tracer box shall match the top back of curb elevation. Tracer wire shall be run from the main with the service and connected to the Test Station.

Section 3A.04 PIPE INSTALLATION:**Sub-section A. Cutting:**

Cutting of pipe for closure pieces or for other reasons shall be done in a neat and workmanlike manner by a method recommended by the manufacturer. After cutting, the pipe shall be beveled and filed to prevent gasket damage in joint assembly.

Sub-section B. Dewatering of Trench:

Where water is encountered in the trench, it shall be removed during pipe-laying operations and until the ends of the pipe are sealed. See "Control of Groundwater" in Division 2 Trench - Excavation and Backfill.

Sub-section C. Laying of Pipe:

The pipe and pipe coating (where applicable) shall be inspected for defects before installation. Any defects shall be repaired or the pipe shall be replaced, whichever is deemed necessary by the Public Works Representative/ Engineer.

All pipe shall be laid and maintained to the required lines and grades with fittings and valves at the required locations. The pipes shall be installed with a 30-inch minimum cover from finished road surface for irrigation water. The Developer/Contractor shall be responsible to install the pipe line to the alignment set by the Public Works Director/Engineer or as shown on the Drawings.

All pipe, fittings, and valves shall be moved carefully, either when lowering from the truck, or when placing in the trench. Under no circumstances shall materials be dropped or dumped from the truck or into the trench.

The Developer/Contractor shall take the necessary precautions to ensure that foreign materials do not enter the pipe. No debris, tools, or other materials shall be placed in the pipe during laying operations. When laying of pipe is not in progress, the pipe shall be closed with a water-tight plug.

Maximum deflections at pipe joints shall not exceed the joint specifications of AWWA C600 of latest revision, or the recommendations of the pipe manufacturer.

Deflections in PVC pipe shall be made by longitudinal bending of the barrel of the pipe rather than deflecting the pipe joints. Longitudinal bending shall be limited to eighty percent (80%) of the manufacturer's recommended maximum bending radius.

Temporary support, adequate protection and maintenance of all underground and surface utility structures, drains, sewers and other obstructions encountered in the progress of the work shall be furnished by the Contractor at his own expense under the direction of the inspector.

Wherever existing utility structures or branch connections leading to main sewers or to main drains, or other conduits, ducts, pipes, or structures present obstruction to the grade and alignment of the pipe, they shall be permanently supported, removed, relocated or reconstructed by the Contractor through cooperation with the City. In those instances where their relocation or reconstruction is impracticable, a deviation from line and grade will be ordered, and the change shall be made in the manner directed by the Engineer. Connections to private residences shall be cut and looped around the pipe line.

Unless otherwise directed, pipe shall be laid with bell ends facing the direction of laying, and for lines on an appreciable slope, bells shall, at the discretion of the Engineer, face upgrade.

Pipe shall be laid so as to drain back into the main system when system is out of service. Additional drain lines or blow off valves will be required where gravity draining may not be possible.

Sub-section D. Pipe Bedding:

All pipes shall be protected from lateral displacement and possible damage resulting from impact or unbalanced loading during backfilling operations by being adequately bedding. In the event trench materials are not, in the judgment of the Public Works Representative/Engineer, satisfactory for pipe bedding, imported granular bedding will be required. See Division 2 of these specifications.

Sub-section E. Thrust Blocking:

Thrust blocking shall be applied at all tees, valves, plugs, caps, and at bends that deflect 1 1/4 degrees or more. The fitting shall be encased in a 12 mil protective plastic wrap before the thrust block is poured. Reaction blocking shall be concrete, having a compressive strength of not less than three-thousand (4000) psi at twenty-eight (28) days. Blocking shall be placed between undisturbed soil and the fitting to be anchored. The area of bearing on the pipe and on the ground shall be as shown in the Drawings. The blocking shall be placed so that the pipe and the fittings will be accessible for repair.

Sub-section F. Connections to Existing Water Lines:

Information on the Drawings regarding existing water lines is taken from "record" drawings from the city or utility company files and may or may not be accurate as to size, type of material, or location of those lines. The Developer/Contractor will be responsible to determine the proper fittings and materials required, obtain the Public Works Representative/Engineer's approval of the planned connection, and perform the construction in a suitable fashion.

Sub-section G. Replacement of Damaged Material:

Any material that becomes damaged shall be replaced by the Subdivider at his own expense.

Sub-section H. Responsibility for Safe Storage:

The Developer/Contractor shall be responsible for the safe storage of material furnished by or to him, and accepted by him, and intended for the work, until it has been incorporated in the completed project.

Section 3A.05 PRESSURE IRRIGATION SERVICE CONNECTION:

Pressure irrigation service laterals shall be constructed with materials specified and at the locations shown on the Standard Drawings or at the actual location established during construction. This section covers the installation of the service connection from the main to right-of-way line.

Sub-section A. Service Saddle Specifications:

(For use with AWWA C-900 C1 O.D. for PVC plastic pipe.)

All service clamps shall be brass O.D. control saddle or brass double strap tapping saddle for PVC mains, or direct tap (with CC Thread) O.D. sized for ductile iron mains.

A rigid liner shall be used inside of tubing at the compression fitting on all service connections.

All service clamps shall be manufactured of brass cast in conformance to AWWA C-800, General Section - 1, Paragraph 1.2 (ASTM B-62).

The two sides of the clamp shall be held together by high quality Silicon Bronze Hex Bolts (in sizes 1" and over) or Silicon Bronze Slotted Screws (in sizes under 1"), no dis-similar metals shall be allowed at this point thus eliminating the possibility of galvanic corrosion.

Sub-section B. Polyethylene Tubing:

Pipe for the transmission of irrigation water from main to utility box and from the utility box to the homeowner's property line shall be Polyethylene CTS tube. Polyethylene CTS tube shall be manufactured in accordance with the standard specification for Polyethylene (PEP plastic tubing as issued by the American Standard for Testing and Materials under ASTM D 2737 and AWWA C-901.

Material designation code: Polyethylene: PE 3408

Plastic Extrusion Compound: Type III, class C, Grade 34, as defined by ASTM D 1248

Standard pipe dimension ratio CTS (SDR) 9 - 200-psi pressure rating.

All tubing for service lines shall be cut and installed in a neat and workmanlike manner by a method recommended by the manufacturer. No joints will be allowed under sidewalks or other paved surfaces.

Tubing shall be WESTFLEX PE 3408 Gold Label or equivalent.

A single strand 14 gauge coated copper tracer wire shall be run with all secondary services and terminated inside the irrigation box with the exception of services requiring a test station as specified in 3A.03E which shall be terminated at the test station.

Sub-section C. Compression Connection:

- (a) The interior surface of the coupling nut, including threads, shall have a baked on, fluorocarbon coating to reduce assembly friction and prevent the gasket from turning and twisting during tightening. The nut shall bottom on a cast or machined shoulder on the body when properly assembled. This design will provide a visual check to assure connection is properly assembled.
- (b) The sealing gasket shall be of molded synthetic rubber (ASTM D-2000) with molded in place bronze spring (ASTM A-134 Alloy #6) to eliminate the possible cold flow of the gasket between the pipe and fitting. A gripper band of hardened stainless steel (ANSI Type 401) shall be fitted into the gasket. When the gasket is compressed it will cause the gripper ring to distort the pipe

giving the fitting a high resistance to pull out. The gripper band shall overlap itself to prevent cold flow of the gasket into the cavity under the band.

- (c) When compression fittings are used with P.E. Pipe, Stainless Steel pipe stiffeners are required to eliminate cold flow of plastic pipe.
- (d) All fittings are to be for CTS Polyethylene pipe.
- (e) The Minimum pull out load for the fitting when used with PE plastic pipe shall be as follows for each given size:

<u>SIZE</u>	<u>MINIMUM PULL OUT (FT.LBS.)</u>
3/4"	400
1"	400
1 1/2"	500
2"	500

MUELLER 110 COMPRESSION COUPLINGS AND FITTINGS OR EQUIVALENT ARE TO BE USED ON ALL P.E. PLASTIC PIPE INSTALLATIONS.

Sub-section D. Service Fittings:

All service fittings shall be brass tees, and brass elbows or equivalent.

Sub-section E. Mark II Ori-Seal Valve:

~~These valves shall be closed bottom design and sealed against external leakage at the top by means of a non-adjustable resilient pressure actuated seal, and shall be provided with a secondary resilient seal disposed above the pressure seal for added protection of the bearing surfaces against ground water infiltration. Shutoff shall be affected by a resilient pressure actuated seal so disposed in the key (or plug) as to completely enclose the inlet body port (flow way), in the closed position. All Curb valves shall be quarter turn valves and the fully open and closed positions shall be controlled by check lugs that are integral parts of the key and body. The maximum pressure rating shall be 165 PSI water at a maximum temperature of 180 degrees Fahrenheit.~~

All fittings are to be CTS Size, used on CTS (Copper Tube Size) Polyethylene pipe. No IPS polyethylene pipe or fittings are to be used.

~~Curb stop valves shall be MUELLER H-1512-2, 110 COMPRESSION by FIP thread.~~

Sub-section F. Service Meter Box:

~~Service box shall be a metal box with a lid saying "Irrigation". Service Box shall be installed over the Ori-Seal valve and hose bib. A sign shall be attached or embossed to or on the cover indicating as follows: "IRRIGATION" or "WATER." Box shall be D&L Suply M9150 or Tyler Union 6500 or equal utility box.~~

Meters shall be Sensus water meters equipped with Sensus FlexNet radio compatible with the City's existing infrastructure.

All residential secondary services shall be set up for a 1-in secondary meter according to the standard detail. The meter box shall be a preassembled Ford meter box PKD488-C14311-001-NL or approved equal. The meter cover to be type A3 stamped "IRRIGATION" with extension ring or approved equal. Cover to be set at the same elevation as the top back of curb. Centerline of cover shall be midway between the back of curb and walk. The meter box shall be furnished with an idler. The shut off valve shall be lockable. A 1" ball valve in a 14"x19"x12" purple Carson Control valve box stamped "IRRIGATION" shall be set shall be set 12-inches behind sidewalk and a coil of poly left above ground for future connection.

Commercial industrial or institutional meter sizes shall be properly sized for the development.

1 ½" and 2" secondary services shall be installed per the standard detail. The meter box shall be a 21-inch diameter by 30-inch deep corrugated plastic enclosure with D&L supply L-2244 purple cover stamped "IRRIGATION" or approved equal. All fittings shall be brass, and the meter ball valve shut off shall be lockable. A ball valve in a 14"x19"x12" purple Carson Control valve box stamped "IRRIGATION" shall be set 12-inches behind sidewalk and a coil of poly left above ground for future connection.

Shop drawings showing the layout and location of the meter box shall be submitted to the City for approval for all secondary service sizes larger than 2-inches.

Sub-section G. Service Pipe Installation:

The service pipe shall be installed by use of a boring method that is approved by the Public Works Director/Engineer under all existing concrete and paved surfaces. Where subsurface materials or conditions will not permit installation by this method, open trenching will be permitted with the approval of the Public Works Representative/Engineer. Open trenching will be used in new streets not yet paved.

Section 3A.06 TESTING AND FLUSHING:

All newly laid pipes or any valved section thereof shall be subjected to a hydrostatic pressure test. A leakage test shall be conducted concurrently with the pressure test. All new lines, and extensions therefrom, shall be flushed thoroughly before being placed into service.

Sub-section A. Pressure Test:

If the pipe section being tested includes concrete thrust blocking, the concrete shall be allowed at least twenty-four (24) hours to set before any testing is conducted.

- (a) Pressure During Test. After the pipe has been laid and partially backfilled, all newly laid pipe, or any valved section of it shall, unless otherwise specified, be subjected to maximum operating pressure.
- (b) Duration of Pressure Test. The duration of each pressure test shall be at least 120 minutes at 200 psi. If service connections are installed then 150 psi. shall be allowed at 120 minutes.
- (c) Procedure. Each valved section of pipe shall be slowly filled with water and the specified test pressure, measured at the point of lowest elevation, shall be applied by means of a pump connected to the pipe in a satisfactory manner. The pump, pipe connections and all necessary apparatus shall be furnished by the Contractor.
- (d) Expelling Air before Test. Before applying the specified test pressure, all air shall be expelled from the pipe. To accomplish this, taps shall be made, if necessary, at points of highest elevation, and afterward tightly plugged.

1. Test Pressure Restrictions:

Test pressures shall:

- a) Not be less than 150 psi pressure at the highest point along the test section.
- b) Not exceed the pressure rating of the pipe.
- c) Be of at least 2 hour duration.

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d) Not vary by more than plus or minus five (± 5) psi for the duration of the test.

e) Not exceed twice the rated pressure of the valves or hydrants when the pressure boundary of the test section includes closed gate valves or hydrants.

f) Not exceed the rated pressure of the valves when the test boundary of the test section includes closed, resilient-seated gate valves or butterfly valves.

2. Pressurization:

Each valved section of pipe shall be filled slowly with water to the specified test pressure. Pressurization of the pipe shall be based on the elevation of the lowest point of the line or section under test and corrected to the elevation of the test gage. Pressure shall be applied by means of a pump connected to the pipe in a manner satisfactory to the Public Works Representative/Engineer.

3. Air Removal:

Before applying the specified test pressure, air shall be expelled completely from the pipe, valves, and hydrants. If permanent air vents are not located at all high points, the Developer/Contractor shall install corporation cocks at such points so that the air can be expelled as the line is filled with water. After all the air has been expelled, the corporation cocks shall be closed and the test pressure applied. At the conclusion of the pressure test, the corporation cocks shall be removed and plugged.

4. Examination:

All exposed pipe, fittings, valves, hydrants, and joints shall be examined carefully during the test. Any damaged or defective pipe, fittings, valves, or hydrants that are discovered during the pressure test shall be repaired or replaced with sound materials and the test shall be repeated. Repairs or replacements to the pipeline and subsequent pressure testing shall be repeated as necessary for the pipeline to pass the pressure test.

Sub-section B. Leakage Test:

A leakage test shall be conducted concurrently with the pressure test.

1. Leakage defined:

Leakage shall be defined as the quantity of water that must be supplied into the newly laid pipe, or any valved section thereof, to maintain pressure within 5 psi of the specified test pressure after the air in the pipeline has been expelled and the pipe has been filled with water.

2. Allowable leakage:

No pipe installation will be accepted if the leakage is greater than that determined by the following formula:

$$L = \frac{SD(P)^{0.5}}{133,200}$$

in which L is the allowable leakage, in gallons per hour; S is the length of pipeline tested in feet; D is the nominal diameter of the pipe, in inches; and P is the average test pressure (gage) during the leakage test, in pounds per square inch. See Table 1.

- a) Allowable leakage at various pressures is shown in Table 1.
- b) When testing against closed metal-seated valves, an additional leakage per closed valve of 0.0078 gal/hr/in. of nominal valve size shall be allowed.
- c) When hydrants are in the test section, the test shall be made against the closed hydrant.

TABLE 1: Allowable Leakage per 1000 ft of Pipeline - gph

Avg. Test Pressure psi (Bar)	Nominal Pipe Diameter--in.															
	3	4	6	8	10	12	14	16	18	20	24	30	36	42	48	54
450 (31)	0.48	0.64	0.95	1.27	1.59	1.91	2.23	2.55	2.87	3.18	3.82	4.78	5.73	6.69	7.64	8.60
400 (28)	0.45	0.60	0.90	1.20	1.50	1.80	2.10	2.40	2.70	3.00	3.60	4.50	5.41	6.31	7.21	8.11
350 (24)	0.42	0.56	0.84	1.12	1.40	1.69	1.97	2.25	2.53	2.81	3.37	4.21	5.06	5.90	6.74	7.58
300 (21)	0.39	0.52	0.78	1.04	1.30	1.56	1.82	2.08	2.34	2.60	3.12	3.90	4.68	5.46	6.24	7.02
275 (19)	0.37	0.50	0.75	1.00	1.24	1.49	1.74	1.99	2.24	2.49	2.99	3.73	4.48	5.23	5.98	6.72
250 (17)	0.36	0.47	0.71	0.95	1.19	1.42	1.66	1.90	2.14	2.37	2.85	3.56	4.27	4.99	5.70	6.41
225 (16)	0.34	0.45	0.68	0.90	1.13	1.35	1.58	1.80	2.03	2.25	2.70	3.38	4.05	4.73	5.41	6.03
200 (14)	0.32	0.43	0.64	0.85	1.06	1.28	1.48	1.70	1.91	2.12	2.55	3.19	3.82	4.46	5.09	5.73
175 (12)	0.30	0.40	0.59	0.80	0.99	1.19	1.39	1.59	1.79	1.98	2.38	2.98	3.58	4.17	4.77	5.36
150 (10)	0.28	0.37	0.55	0.74	0.92	1.10	1.29	1.47	1.66	1.84	2.21	2.76	3.31	3.86	4.41	4.97
125 (9)	0.25	0.34	0.50	0.67	0.84	1.01	1.18	1.34	1.51	1.68	2.01	2.52	3.02	3.53	4.03	4.53
100 (7)	0.23	0.30	0.45	0.60	0.75	0.90	1.05	1.20	1.35	1.50	1.80	2.25	2.70	3.15	3.60	4.05

*If the pipeline under test contains sections of various diameters, the allowable leakage will be the sum of the computed leakage for each size.

**To obtain leakage in liters/hour, multiply the values in the table by 3.785.

3. Examination:

All exposed pipe, fittings, valves, hydrants, and joints shall be examined carefully during the test. Any damaged or defective pipe, fittings, valves, or hydrants that are discovered during the leakage test shall be repaired or replaced with sound materials and the test shall be repeated. Repairs or replacements to the pipeline and subsequent leakage testing shall be repeated as necessary for the pipeline to pass the leakage test.

Sub-section C. Acceptance of Installation:

Acceptance shall be determined on the basis of allowable leakage. If any test of pipe laid discloses leakage greater than specified, the Developer/Contractor shall, at its own expense, locate and repair the defective material until the leakage is within the specified allowance. All visible leaks are to be repaired regardless of the amount of leakage.

Sub-section D. Flushing:

Flushing shall be accomplished through temporary flushing valves, or end of line blow-off assemblies at a minimum flushing velocity of two and one-half feet per second (2.5 fps). Flow volumes to produce this velocity are shown in the following chart:

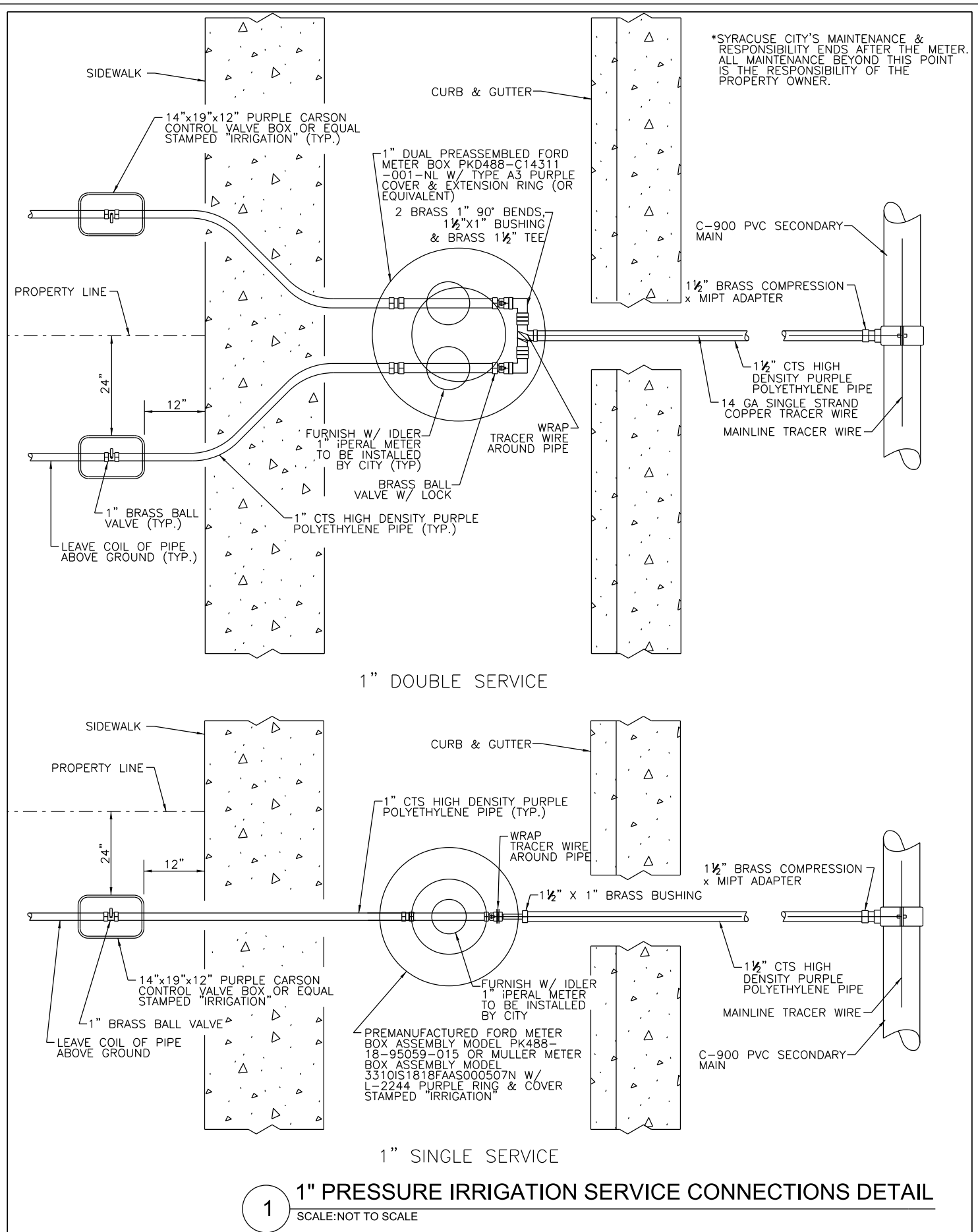
FLOW RATE AND OPENINGS TO FLUSH PIPELINES (40 psi Residual Pressure)	
Pipe Size (inches)	Flow Required to Produce 2.5 fps velocity (gpm)
2	26
4	100
6	220
8	390

10	610
12	880
14	1,200
16	1,565
18	1,980
20	2,450
24	3,525
30	5,507
42	10,800
48	14,100

Section 3A.07 PRESSURE IRRIGATION DRAINS:

When system drains are necessary to be installed on extensions of the pressure irrigation system they shall be constructed as a system drain to a curb inlet box or system drain to a storm drain pipe. The drain shall be constructed as shown on the Standard Drawings. The materials used shall meet the requirements of Division 3A, Pressure Pipe Pressure Irrigation. The connection to the box or pipe shall be by coring a hole and grouting the drainpipe in. A non-shrink grout shall be used.

When a section of pressure irrigation pipeline has to be laid such that there is a belly in it then a local drain sump will need to be constructed. The drain shall be constructed as shown on the Standard Drawings. The materials used shall meet the requirements of Division 3A, Pressure Pipe Pressure Irrigation, Division 4, Concrete Pipe, and Division 5, Manholes.



STATEMENT OF USE
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SYRACUSE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF SYRACUSE CITY. SYRACUSE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

1	UPDATED TYPICAL SERVICE	BB	RCW	2/11/14
NO.	REVISION DESCRIPTION	BY	APR	DATE

CAD FILE: SYRACUSE CITY STANDARDS
DRAWN BY: BB
DESIGN BY: BB
CHECKED BY: RCW
LAST UPDATED: 3/18/2019
DATE ADOPTED: 4/9/2019

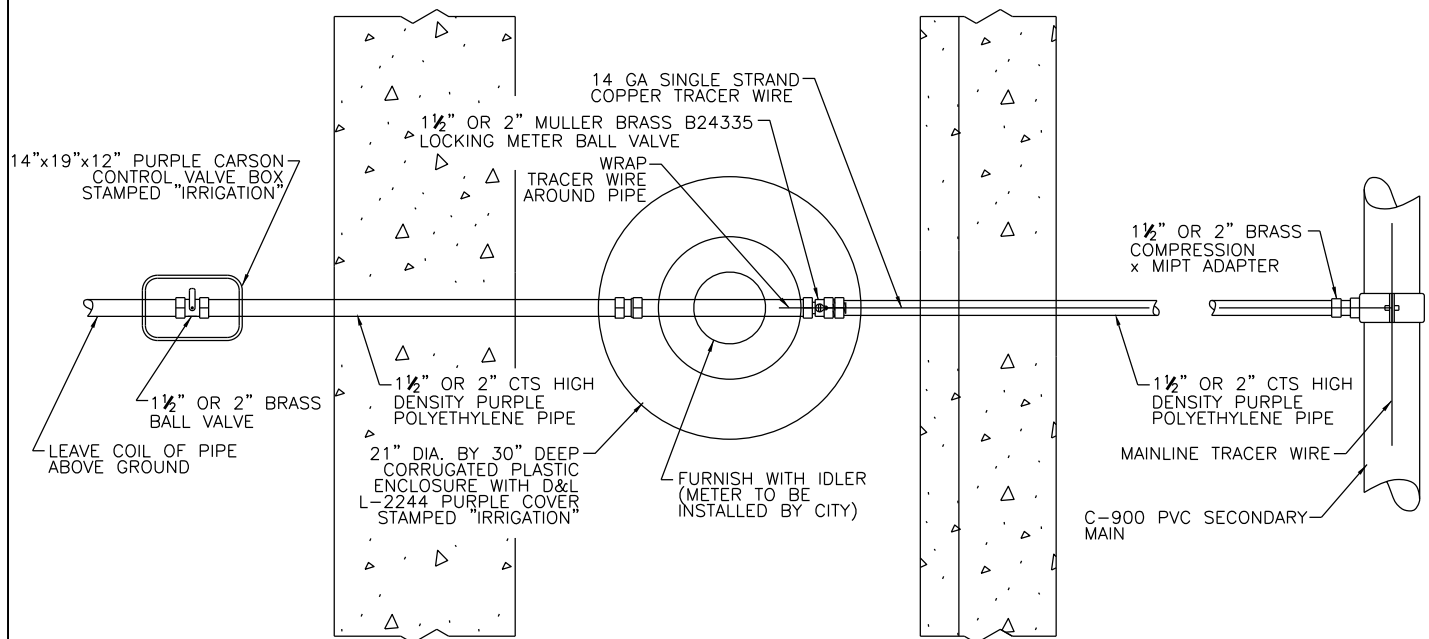


**DEVELOPMENT STANDARDS
SYRACUSE CITY CORPORATION**

TYPICAL 1" SECONDARY PRESSURE
IRRIGATION SERVICE CONNECTIONS

SHEET

21A



1 1/2" & 2" SERVICE (NONRESIDENTIAL ONLY)

NOTE:
FOR METERS LARGER THAN 2-INCH,
DRAWINGS OF VALVE & LOCATION
SHALL BE SUBMITTED TO
CITY FOR APPROVAL.

1 1 1/2" & 2" PRESSURE IRRIGATION SERVICE CONNECTIONS DETAIL SCALE: NOT TO SCALE

STATEMENT OF USE			
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SYRACUSE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF SYRACUSE CITY. SYRACUSE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.			
1	UPDATED TYPICAL SERVICE	BB	RCW 2/11/14
NO.	REVISION DESCRIPTION	BY	APR DATE

CAD FILE: SYRACUSE CITY STANDARDS	
DRAWN BY: BB	
DESIGN BY: BB	
CHECKED BY: RCW	
LAST UPDATED: 3/18/2019	
DATE ADOPTED: 4/9/2019	



DEVELOPMENT STANDARDS
SYRACUSE CITY CORPORATION
TYPICAL SECONDARY PRESSURE IRRIGATION
SERVICE CONNECTIONS LARGER THAN 1"

SHEET

21B



PLANNING COMMISSION REGULAR MEETING

April 2, 2019

ADMINISTRATIVE ITEM

Agenda Item # 7

Legend Pointe Final Phase 1

Factual Summation

Please review the following information. Any questions regarding this agenda item may be directed to Royce Davies, City Planner or Noah Steele, Planning Services Director.

Location:	3695 West 900 South
Current Zoning:	R-2
General Plan:	R-2
Total Subdivision Area:	12.95 Acres
Number of Lots:	29

Summary

The applicant has requested approval of a 29-lot final plat called Legend Pointe. This name was changed from Hunter's Glen which preliminary plat was previously approved by the Planning Commission. This will be the western-most phase of this subdivision and will fill in an undeveloped area surrounded by relatively new homes.

While most of the staff comments were addressed in this iteration of the plat, some comments remain.

Recommendation

Because there are outstanding staff comments on the plat and the comments do not substantially change any parts of the plat, staff recommends it be **conditionally approved**.

Suggested Motion Language

Approval – “I move the Planning Commission recommend that the City Council **approve** the request of Nilson Homes for approval of a final subdivision plat called Legend Pointe Phase 1 at approximately 3695 West 900 South in the R-2 Zone with the following condition:

1. All staff comments shall be addressed before the plat is recorded with Davis County.

Table – “I move the Planning Commission **continue** the request of Nilson Homes for approval of a final subdivision plat called Legend Pointe Phase 1 at approximately 3695 West 900 South in the R-2 Zone until (give date) based on the following findings:

1. (list findings)”

Denial – “I move the Planning Commission recommend the City Council **deny** the request of Nilson Homes for approval of a final subdivision plat called Legend Pointe Phase 1 at approximately 3695 West 900 South in the R-2 Zone based on the following findings:

1. (list findings).”

Attachments:

- Aerial Map
- General Plan Map
- Zoning Map
- Plat
- R-2 Zoning Ordinance
- Staff Reviews

Legend

3695 West 910 South

Legend

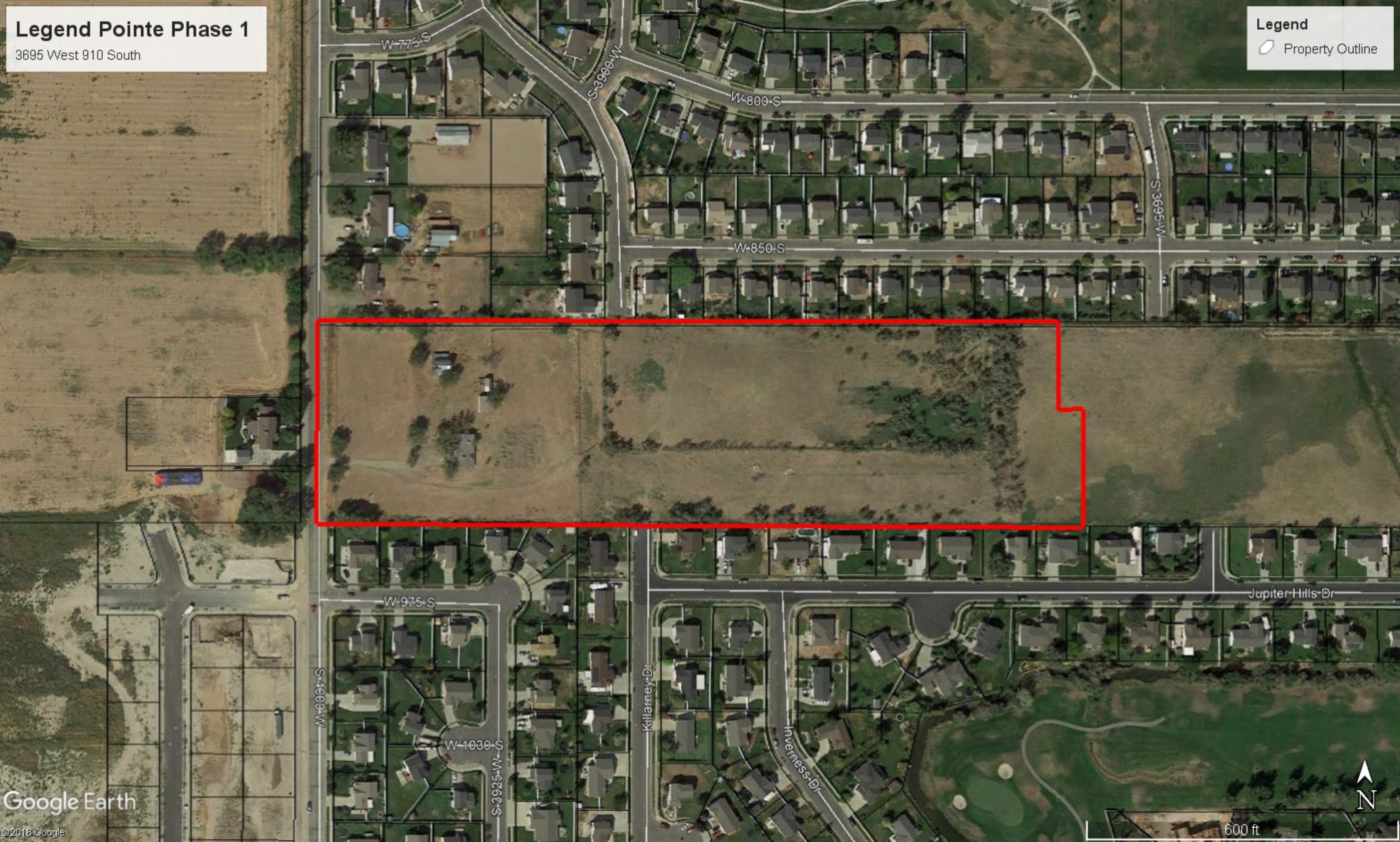
Property Outline

Google Earth

©2018 Google



600 ft



Legend

Pointe Phase 1 General Plan

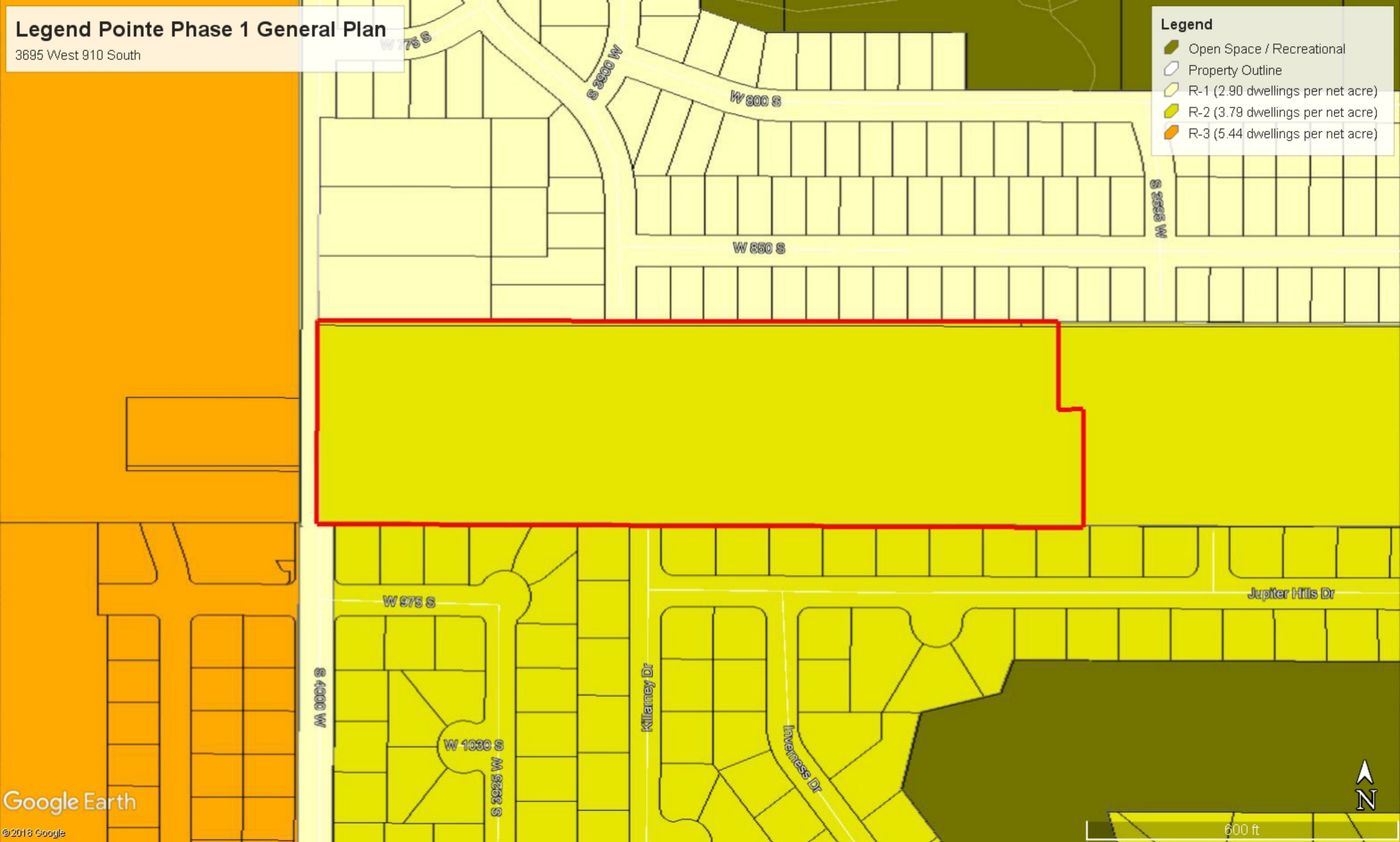
3695 West 910 South

Legend

- Open Space / Recreational
- Property Outline
- R-1 (2.90 dwellings per net acre)
- R-2 (3.79 dwellings per net acre)
- R-3 (5.44 dwellings per net acre)



600 ft



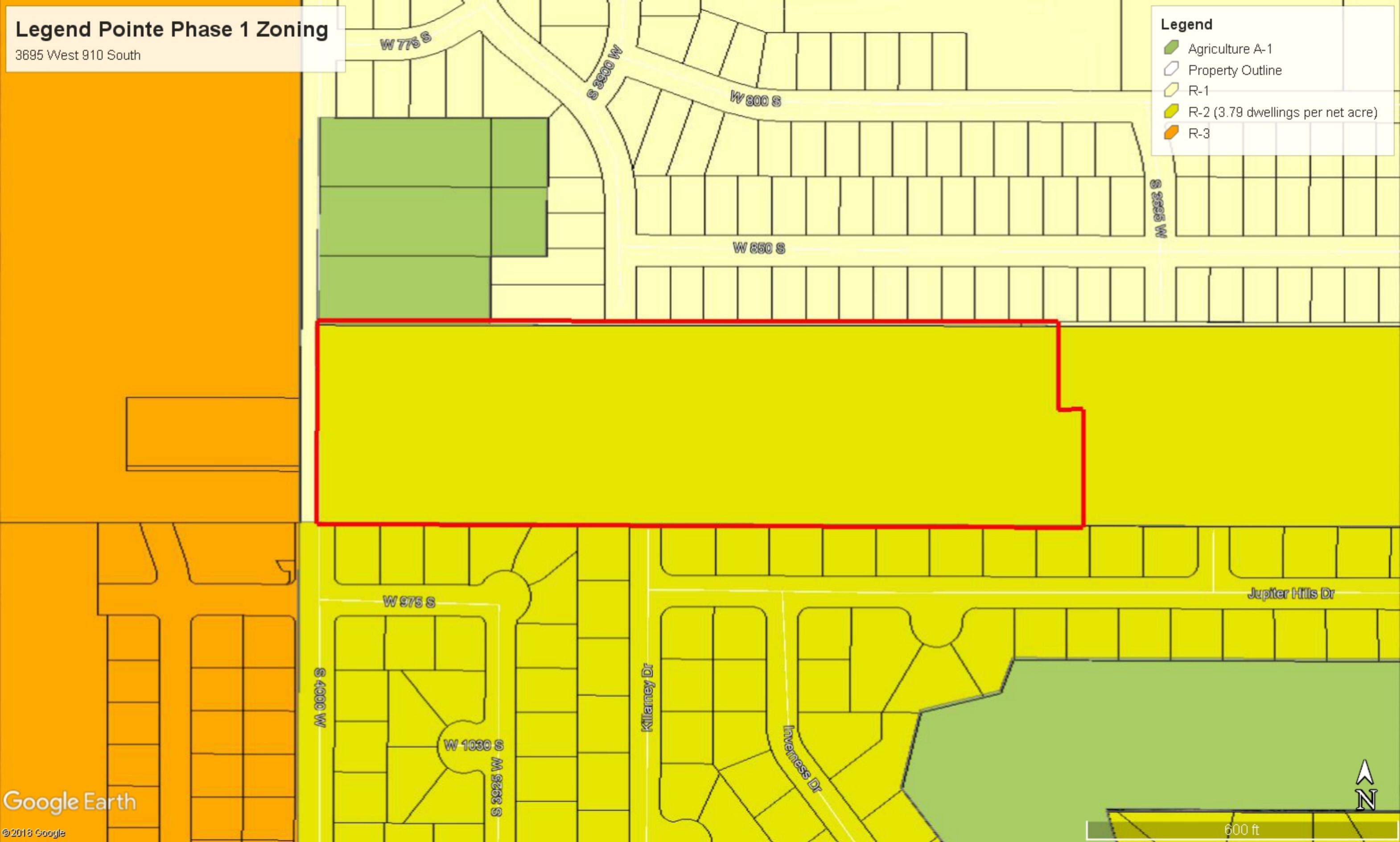
Legend

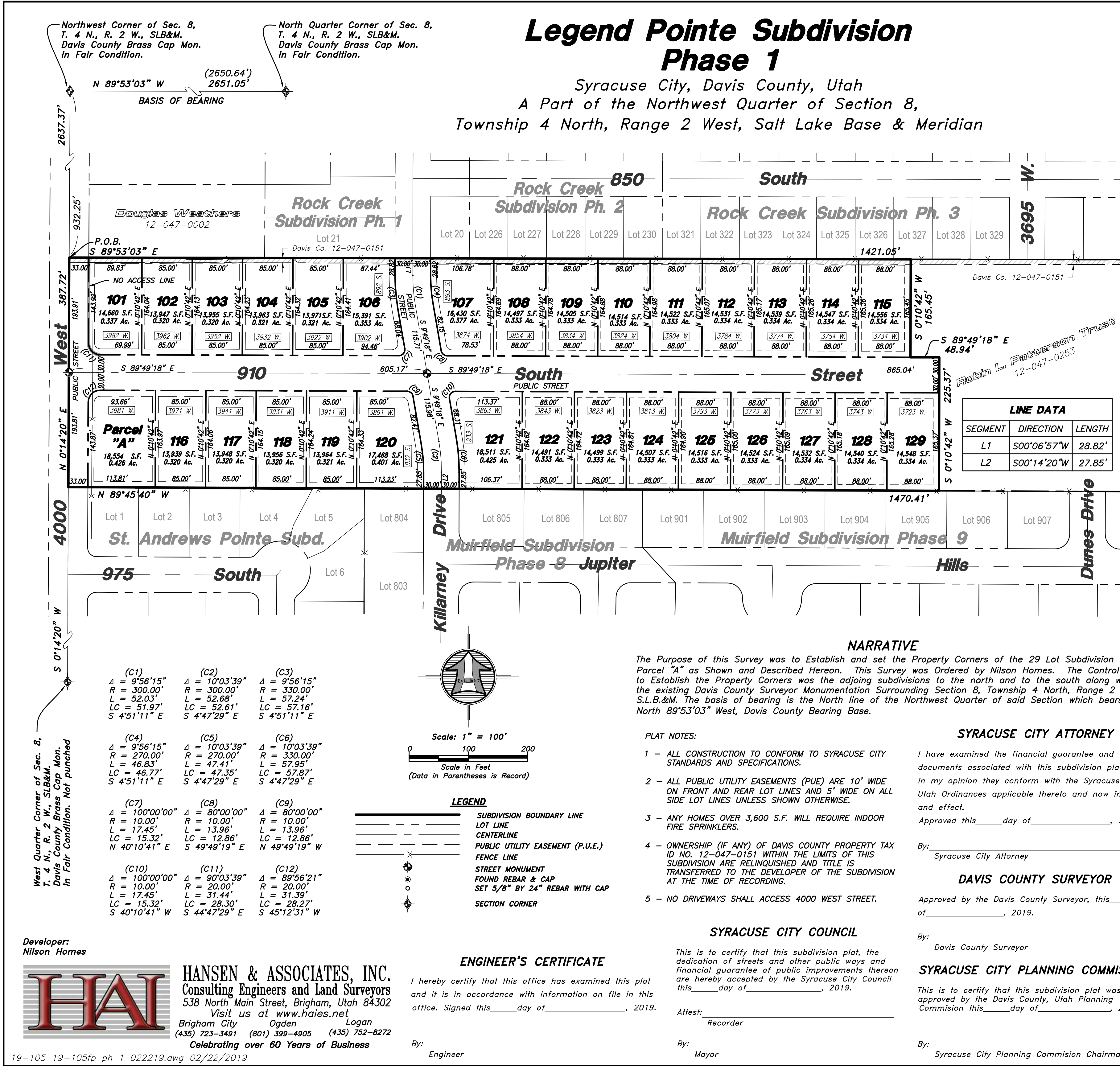
Pointe Phase 1 Zoning

3695 West 910 South

Legend

- Agriculture A-1
- Property Outline
- R-1
- R-2 (3.79 dwellings per net acre)
- R-3

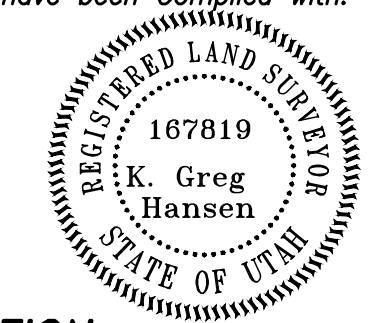




SURVEYOR'S CERTIFICATE

I, K. Greg Hansen, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Act; and I have Completed a Survey of the Property Described on this Plat in accordance with Section 17-23-17 and have Verified all Measurements, and have Placed Monuments as Represented on this Plat, and have Hereby Subdivided said Tract into Twenty-nine (29) Lots and Parcel "A", know hereafter as Legend Pointe Subdivision Phase 1 in Davis County, Utah, and has been Correctly Drawn to the Designated Scale and is True and Correct Representation of the Herein Described Lands Included in said Subdivision, Based Upon Data Compiled from Records in the Davis County Recorder's Office and from said Survey made by me on the Ground, I further Hereby Certify that the Requirements of all Applicable Statutes and Ordinances of Davis County Concerning Zoning Requirements Regarding Lot Measurements have been Complied with.

Signed this _____ day of _____, 2019.



SUBDIVISION BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 2 WEST OF THE SALT LAKE BASE AND MERIDIAN.

BEGINNING AT A POINT ON THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 8, SAID POINT ALSO BEING ON THE CENTERLINE OF 4000 WEST STREET LOCATED 932.25 FEET SOUTH 0°14'20" WEST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION;

RUNNING THENCE SOUTH 89°53'03" EAST 1421.05 FEET TO AND THEN ALONG THE SOUTH LINE OF ROCK CREEK SUBDIVISION PHASE 1, PHASE 2 AND PHASE 3; THENCE SOUTH 0°10'42" WEST 165.45 FEET; THENCE SOUTH 89°49'18" EAST 48.94 FEET; THENCE SOUTH 0°10'42" WEST 225.37 FEET TO THE NORTH LINE OF MUIRFIELD SUBDIVISION PHASE 9; THENCE NORTH 89°45'40" WEST 1470.41 FEET ALONG SAID NORTH LINE AND THEN ALONG THE NORTH LINES OF MUIRFIELD SUBDIVISION PHASE 8 AND ST. ANDREWS POINTE SUBDIVISION TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 8 SAID CENTERLINE OF 4000 WEST STREET; THENCE NORTH 0°14'20" EAST 387.72 FEET ALONG SAID SECTION LINE AND SAID CENTERLINE TO THE POINT OF BEGINNING. CONTAINING 12.95 ACRES.

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO TWENTY-NINE (29) LOTS AND PARCEL "A" AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT LEGEND POINTE SUBDIVISION PHASE 1 AND HEREBY WARRANT AND DEFEND AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREETS AND ALSO HEREBY DEDICATE, GRANT AND CONVEY TO DAVIS COUNTY, UTAH, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO DEDICATE TO DAVIS COUNTY THOSE CERTAIN STRIPS AS EASEMENTS AND LABELED AS PUBLIC UTILITY EASEMENTS AS SHOWN HEREON, FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE ACCESS, INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC AND PRIVATE UTILITY SERVICE LINES, IRRIGATION AND DRAINAGE APPURTENANCES AS MAY BE AUTHORIZED BY DAVIS COUNTY AND/OR THE LOT OWNER. WE ALSO HEREBY DEDICATE THE PLAT NOTES HEREON TO BE IN EFFECT. DAVIS COUNTY HEREBY QUIT CLAIMS TO LEGEND POINTE SUBDIVISION PHASE 1 ANY RIGHT, TITLE, AND INTEREST IN THE STRIP SHOWN AS 12-047-0151 HEREON. IN WITNESS WE HAVE HEREUNTO SET OUR SIGNATURE THIS _____ DAY OF _____, 2019.

Steve Bingham, Manager of Nilson Homes Date: _____

Jeff Oyler for Davis County, Utah Date: _____

CORPORATE ACKNOWLEDGMENT

State of Utah County of Davis

On the _____ day of _____, 2019, personally appeared before me, the undersigned notary public in and for said state and county, Steve Bingham, being duly sworn, acknowledged to me that he is the Manager of Nilson Homes and that he signed the above owner's dedication, who duly acknowledged to me that he signed it freely and voluntarily and for the uses and purposes therein mentioned.

Notary public

CORPORATE ACKNOWLEDGMENT

State of Utah County of Davis

On the _____ day of _____, 2019, personally appeared before me, the undersigned notary public in and for said state and county, Jeff Oyler, being duly sworn, acknowledged to me that he has the authority to sign for Davis County, Utah and that he signed the above owner's dedication, who duly acknowledged to me that he signed it freely and voluntarily and for the uses and purposes therein mentioned.

Notary public

UTILITY COMPANY APPROVAL

ROCKY MOUNTAIN POWER DATE _____

DOMINION ENERGY DATE _____

COMCAST CABLE DATE _____

CENTURY LINK DATE _____

BY _____ COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND _____, AT _____ IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____ COUNTY RECORDER BY _____ DEPUTY

NARRATIVE

The Purpose of this Survey was to Establish and set the Property Corners of the 29 Lot Subdivision and Parcel "A" as Shown and Described Hereon. This Survey was Ordered by Nilson Homes. The Control used to Establish the Property Corners was the adjoining subdivisions to the north and to the south along with the existing Davis County Surveyor Monumentation Surrounding Section 8, Township 4 North, Range 2 West, S.L.B.&M. The basis of bearing is the North line of the Northwest Quarter of said Section which bears North 89°53'03" West, Davis County Bearing Base.

PLAT NOTES:

- 1 - ALL CONSTRUCTION TO CONFORM TO SYRACUSE CITY STANDARDS AND SPECIFICATIONS.
- 2 - ALL PUBLIC UTILITY EASEMENTS (PUE) ARE 10' WIDE ON FRONT AND REAR LOT LINES AND 5' WIDE ON ALL SIDE LOT LINES UNLESS SHOWN OTHERWISE.
- 3 - ANY HOMES OVER 3,600 S.F. WILL REQUIRE INDOOR FIRE SPRINKLERS.
- 4 - OWNERSHIP (IF ANY) OF DAVIS COUNTY PROPERTY TAX ID NO. 12-047-0151 WITHIN THE LIMITS OF THIS SUBDIVISION ARE RELINQUISHED AND TITLE IS TRANSFERRED TO THE DEVELOPER OF THE SUBDIVISION AT THE TIME OF RECORDING.
- 5 - NO DRIVEWAYS SHALL ACCESS 4000 WEST STREET.

SYRACUSE CITY ATTORNEY

I have examined the financial guarantee and other documents associated with this subdivision plat and in my opinion they conform with the Syracuse City, Utah Ordinances applicable thereto and now in force and effect.

Approved this _____ day of _____, 2019.

By: _____ Syracuse City Attorney

DAVIS COUNTY SURVEYOR

Approved by the Davis County Surveyor, this _____ day of _____, 2019.

By: _____ Davis County Surveyor

SYRACUSE CITY PLANNING COMMISSION

This is to certify that this subdivision plat was duly approved by the Davis County, Utah Planning Commission this _____ day of _____, 2019.

By: _____ Syracuse City Planning Commission Chairman

SYRACUSE CITY COUNCIL

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements thereon are hereby accepted by the Syracuse City Council this _____ day of _____, 2019.

Attest: _____ Recorder

By: _____ Mayor

ENGINEER'S CERTIFICATE

I hereby certify that this office has examined this plat and it is in accordance with information on file in this office. Signed this _____ day of _____, 2019.

By: _____ Engineer

PROJECT NOTES

ALL CONSTRUCTION TO BE TO SYRACUSE CITY STANDARDS. IN THE EVENT THERE IS NO APPLICABLE STANDARD, CONTACT PROJECT ENGINEER/CITY ENGINEER. CONTRACTOR MUST ATTEND PRE-CONSTRUCTION CONFERENCE WITH CITY AND UDOT PRIOR TO COMMENCING WORK.

PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE ALL EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR UNCOVERING, VERIFICATION AND PROTECTION OF ALL EXISTING UTILITIES.

SOILS TESTING TO BE PERFORMED ON PROJECT. ESPECIALLY FOR TRENCH RESTORATION. OWNER FUNDAMENTALLY WILL BE PAYING FOR SOILS TESTING BUT SUCH TO BE NEGOTIATED PRIOR TO START OF CONSTRUCTION (I.E. PERHAPS OWNER PAYS FOR ALL PASSING TESTS, CONTRACTOR FOR FAILING ONES, ETC.)

NATIVE SUBGRADE AND ROADBASE (UTC) TO BE COMPACTED TO 95% (MODIFIED PROCTOR AASHTO T-180).

ALL WORK TO BE DONE TO SPECIFICATIONS OF GEOTECHNICAL REPORT WHERE/IF APPLICABLE.

WATER: TWO FIRE HYDRANTS ARE LOCATED NEARBY, TO THE IMMEDIATE NORTH AND SOUTH OF THE PROPERTY, ALONG KILLARNEY DRIVE - CONTACT SYRACUSE CITY FOR DETAILS/USAGE.

OBTAIN APPROPRIATE SWPPP PERMIT PRIOR TO COMMENCEMENT OF WORK.

IMPORTANT NOTE: ALL UTILITY TRENCHES TO BE COMPACTED TO 95%!

WATER IS UNDER THE AUSPICES OF SYRACUSE CITY. WATER TIE-INS ARE SHOWN AS CONNECTING TO EXISTING WATER LINES IN 4000 WEST AND KILLARNEY DRIVE. ALL REQUIREMENTS NEED TO BE MET AND FINAL APPROVAL OBTAINED FROM SYRACUSE CITY.

FIRE PROTECTION IS UNDER THE AUSPICES OF THE DAVIS FIRE DISTRICT. EXISTING FIRE HYDRANTS ARE TO THE IMMEDIATE NORTH AND SOUTH OF PROPERTY, ALONG KILLARNEY DRIVE. FIRE MARSHALL TO REVIEW BUILDING PLANS FOR VERIFICATION OF FIRE PROTECTION PARAMETERS. ALL REQUIREMENTS NEED TO BE MET AND FINAL APPROVAL OBTAINED FROM DAVIS FIRE DISTRICT.

SECONDARY WATER IS UNDER THE AUSPICES OF SYRACUSE CITY. WATER TIE-INS ARE SHOWN AS CONNECTING TO EXISTING WATER LINES IN 4000 WEST AND KILLARNEY DRIVE. ALL REQUIREMENTS NEED TO BE MET AND FINAL APPROVAL OBTAINED FROM SYRACUSE CITY. SERVICE LATERALS TO BE INSTALLED PER CITY STANDARDS (SEE SHEET 21 OF SYRACUSE CITY DEVELOPMENT STANDARDS DRAWINGS).

SEWER IS UNDER THE AUSPICES OF NORTH DAVIS SEWER DISTRICT. THEY SHALL BE CONTACTED FOR ALL CONNECTION APPROVALS AND STANDARDS. SEWER TIE-IN IS SHOWN AS CONNECTING TO EXISTING 36" SEWER MAIN ALONG 4000 WEST. TRENCHING INTO EXISTING ASPHALT REQUIRED ON 4000 WEST.

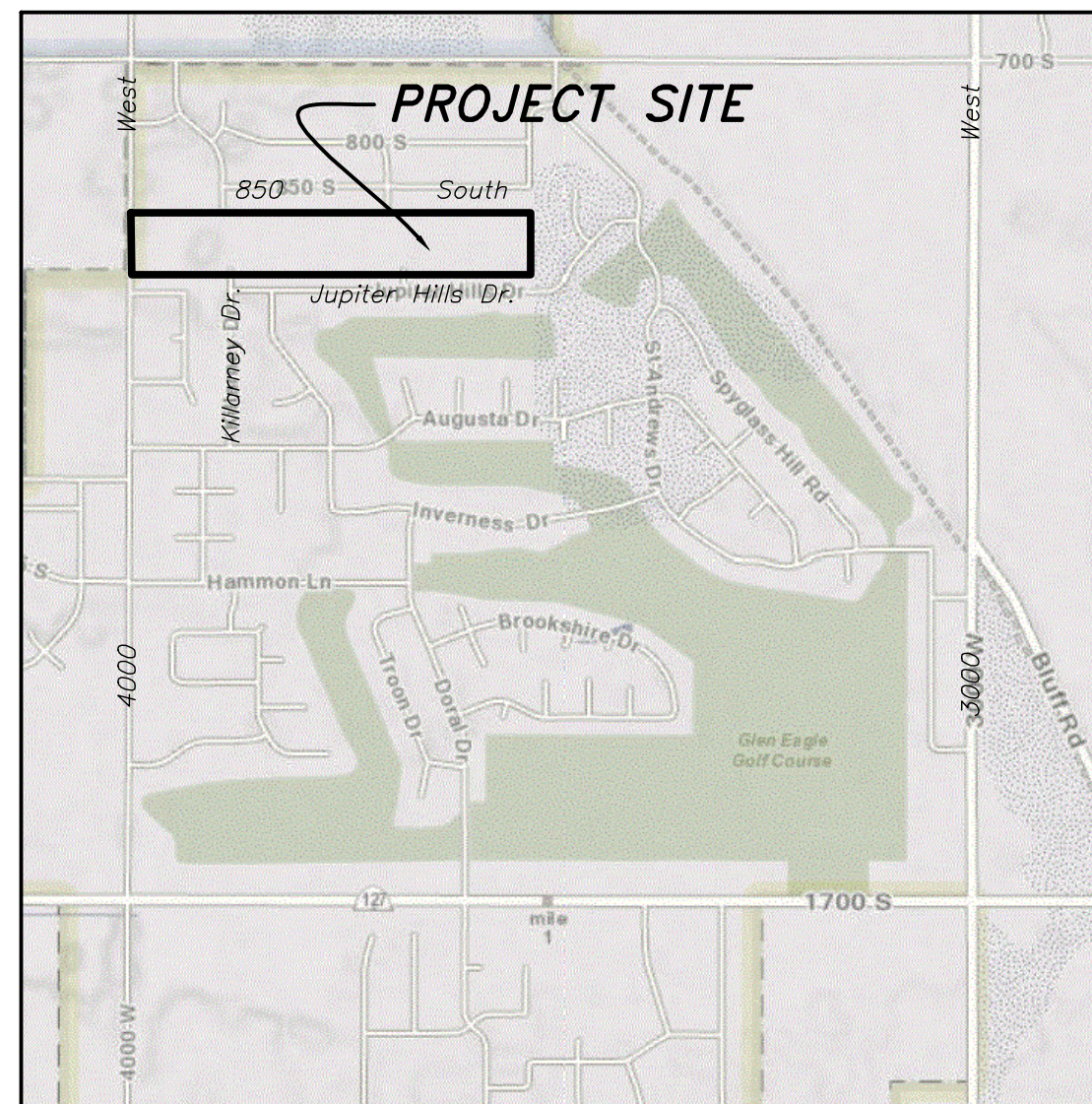
LETTER FROM DAVIS COUNTY HEALTH DEPARTMENT TO BE SUBMITTED VERIFYING THE
REMOVAL OF EXISTING ON-SITE SEPTIC TANK PRIOR TO RECORDING.

STORM DRAIN WILL TIE INTO A NEW MANHOLE INSTALLED OVER THE EXISTING 36" STORM DRAIN PIPE IN 4000 WEST. STORM FLOWS ARE DIRECTED FROM SITE TO DETENTION POND AND OUTLET TO ABOVE MENTIONED MANHOLE.

TO BE DETERMINED PER ELECTRICAL PROVIDER.

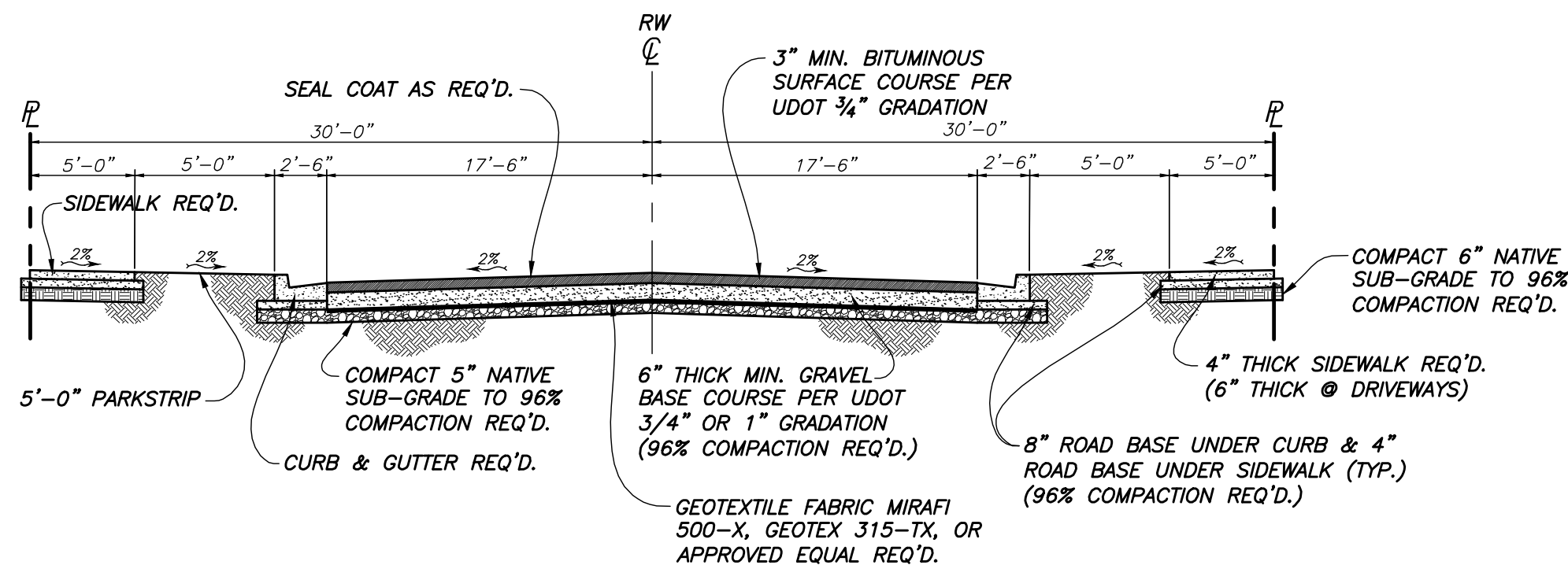
TO BE DETERMINED PER PROVIDER.

TO BE DETERMINED PER PROVIDER.



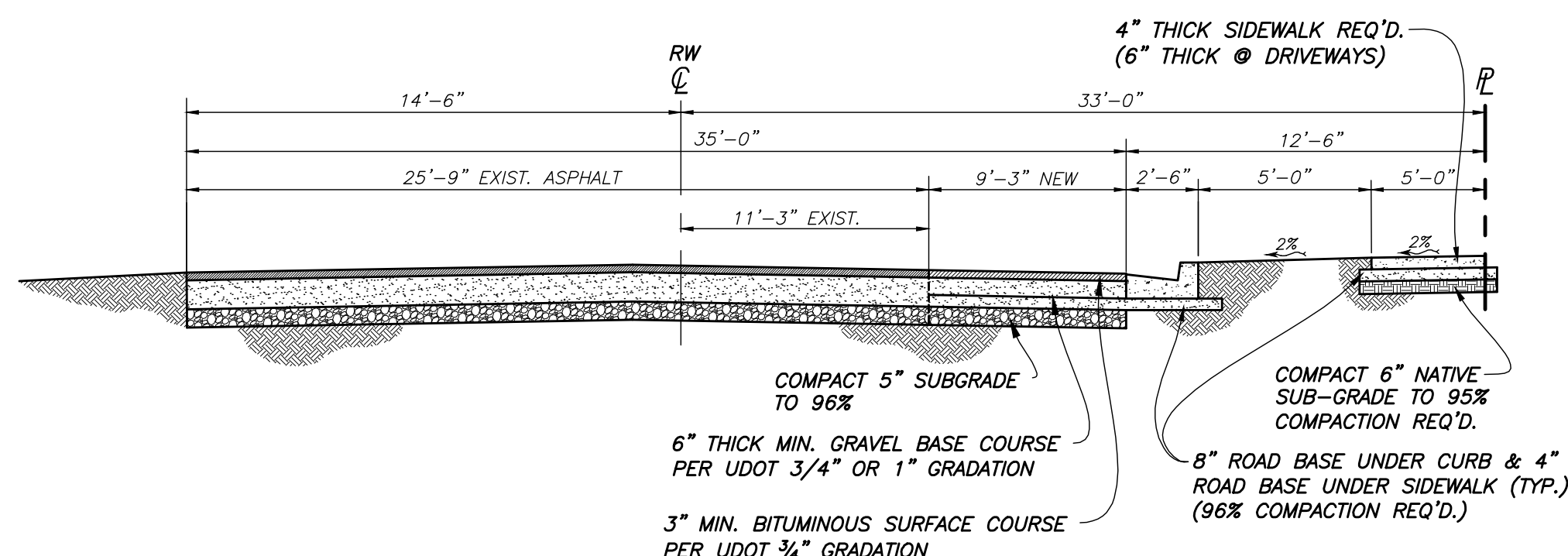
NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO SYRACUSE CITY STANDARDS.



TYPICAL ROAD SECTION

NOT TO SCALE



4000 WEST STREET

LOOKING NORTH
NOT TO SCALE

CONTRACTOR TO BID CITY MINIMUM STRUCTURAL SECTION OF 3 INCHES ASPHALT ON 6 INCHES GRAVEL BASE COURSE ON 5 INCHES OF COMPACTED NATIVE SUBGRADE. THE ASPHALT PAVEMENT SHOULD BE COMPACTED TO 96% OF THE MAXIMUM DENSITY FOR THE ASPHALT MATERIAL. SUCH APPLIES TO ALL UTILITY CROSSINGS ALSO.

CONTRACTOR TO WORK OUT ACCESS PLAN WITH SYRACUSE CITY FOR
CONSTRUCTION TRAFFIC ROUTING.

PRIMARY CITY INSPECTOR:
ROBERT WHITELY
(801)-614-9682

CULINARY WATER:
SYRACUSE CITY
(801)-444-2230

SECONDARY WATER:
SYRACUSE CITY
(801)-444-2230

FIRE PROTECTION:
SYRACUSE CITY FIRE DEPARTMENT
(801)-614-9614

STORM DRAIN:
SYRACUSE CITY
(801)-444-2230

SEWER:
SYRACUSE CITY/NORTH DAVIS SEWER DISTRICT
(801)-444-2230/(801)-825-7235

JAMES FLINT
UTAH PE 7806324-2202

DATE _____

- 1 PROJECT NOTES
- 2 EXISTING SITE PLAN
- 3 EXISTING SITE PLAN
- 4 MASTER UTILITY PLAN
- 5 PLAN & PROFILE (4000 W)
- 6 PLAN & PROFILE (900 S)
- 7 PLAN & PROFILE (900 S)
- 8 PLAN & PROFILE (KILLARNEY DR)
- 9 LOT GRADING PLAN
- 10 LOT GRADING PLAN
- 11 SWPPP MAP
- 12 DETAIL SHEET

12 of **1** Sheet

**LEGEND POINTE
SUBDIVISION PHASE 1**

SYRACUSE CITY, DAVIS COUNTY, UT

PROJECT NOTES FOR

Drawn by: _____ Date: 2-27-2012

Checked By: _____

Approved By: _____

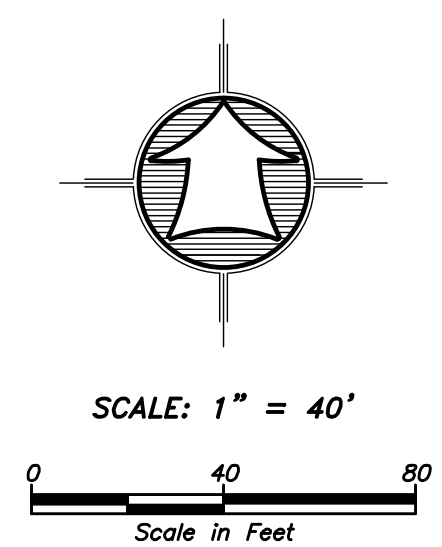
Scale: _____

Drawing File: 19-105\15pp(03-20-19)

JOB NUMBER: 19-105

HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
 538 North Main Street, Brigham, Utah 84302
 Visit us at www.hansen.net
 Brigham City, Ogden, Logan
 (435) 723-3491 (801) 399-4905 (435) 752-8272

EXISTING SITE PLAN



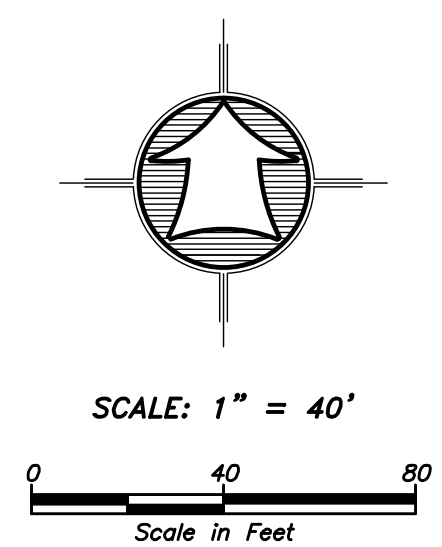
**LEGEND POINTE
SUBDIVISION PHASE 1**
SYRACUSE CITY, DAVIS COUNTY, UT

Sheet	2
of	12
Sheets	

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EXISTING SITE PLAN

[illegible]

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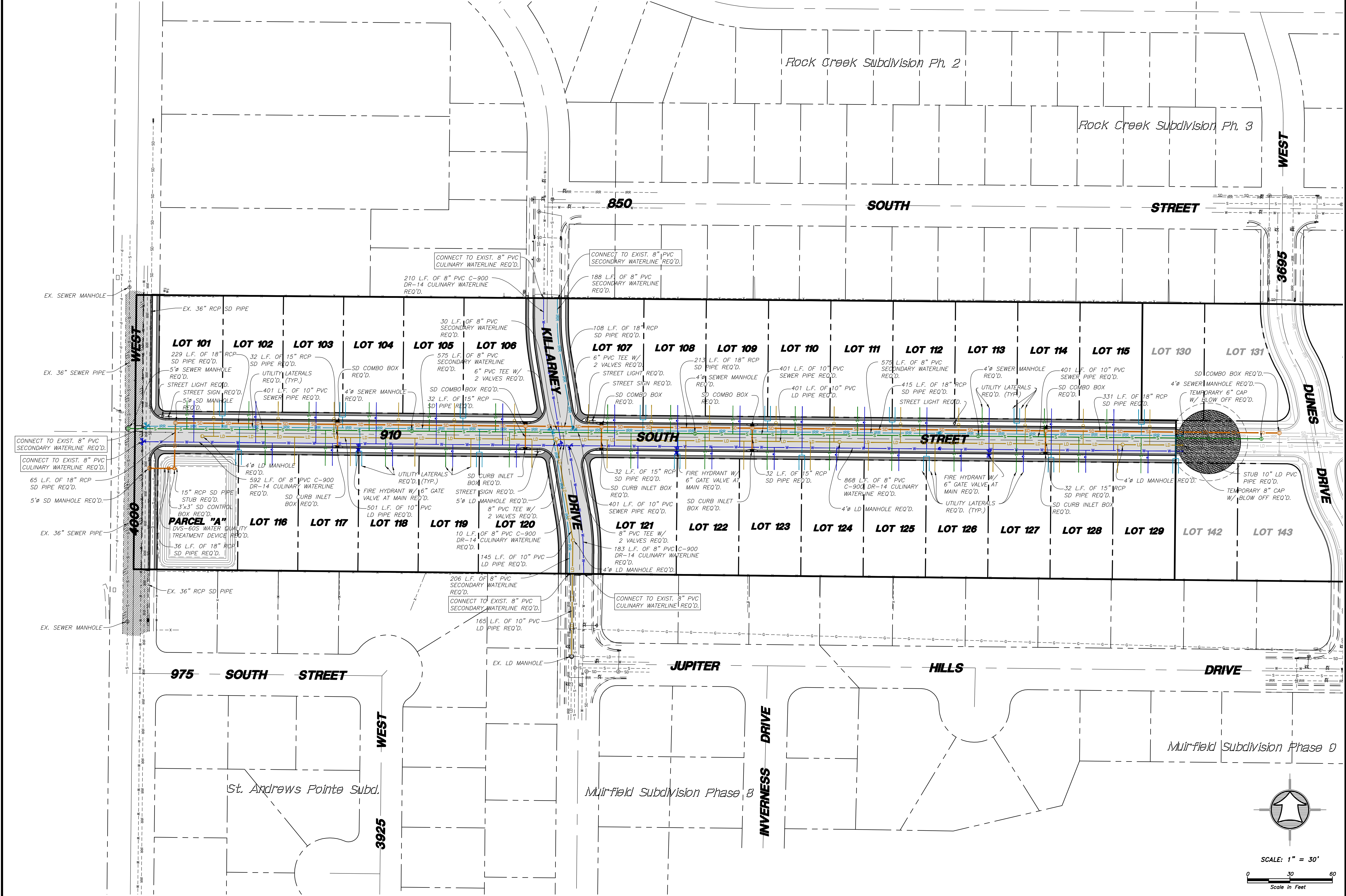
Designed By: _____
Checked By: _____
Approved By: _____
Scale: $1'' = 40'$
Drawing File: 19-105v15pp(03-20-19)
JOB NUMBER: 19-105

EXISTING SITE PLAN FOR
**LEGEND POINTE
SUBDIVISION PHASE 1**
SYRACUSE CITY, DAVIS COUNTY, UT

<i>Sheet</i>
3
<i>of</i>
12
<i>Sheets</i>

LEGEND POINTE SUBDIVISION
PHASE 1

MASTER UTILITY PLAN



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Logan
Brigham City, Utah
(435) 723-3491 (801) 399-4905 (435) 752-8272



Drawn By: MTH Date: 03/26/19
Designed By:
Checked By:
Approved By:
Scale: 1" = 30'
Drawing File: 19-105r15p03-20-19
JOB NUMBER: 19-105

MASTER UTILITY PLAN FOR
**LEGEND POINTE
SUBDIVISION PHASE 1**
SYRACUSE CITY, DAVIS COUNTY, UT

Sheet
4
of
12
Sheets

LEGEND POINTE SUBDIVISION PHASE 1

4000 WEST - PLAN AND PROFILE

KEY NOTE SS STRUCTURES

NAME	STRUCTURE DETAILS
S(a)	EX. SEWER MANHOLE RIM = 4240.18 36" INV (OUT-S) = 4226.88
S(d)	EX. SEWER MANHOLE RIM = 4239.11 36" INV (IN-N) = 4226.73
S1	5" SEWER MANHOLE REQ'D. RIM = 4239.77 10" INV (IN-E) = 4228.82 36" INV (IN-N) = 4226.82 36" INV (OUT-S) = 4226.82
S3	4" SEWER MANHOLE REQ'D. RIM = 4238.02 10" INV (IN-E) = 4230.04 10" INV (OUT-W) = 4229.94
S5	4" SEWER MANHOLE REQ'D. RIM = 4238.26 10" INV (IN-E) = 4231.26 10" INV (OUT-W) = 4231.16
S7	4" SEWER MANHOLE REQ'D. RIM = 4238.92 10" INV (IN-E) = 4232.48 10" INV (OUT-W) = 4232.38
S9	4" SEWER MANHOLE REQ'D. RIM = 4239.92 10" INV (OUT-W) = 4233.60

KEY NOTE SS PIPES

PIPE NAME	DETAILS
S(b)	EX. 36" SEWER PIPE 200 L.F. @ 0.03% SLOPE
S(c)	EX. 36" SEWER PIPE 273 L.F. @ 0.03% SLOPE
S2	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE
S4	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE
S6	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE
S8	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE

KEY NOTE SD STRUCTURES

NAME	STRUCTURE DETAILS
SD1	5" SD MANHOLE REQ'D. RIM = 4239.34 36" INV (IN-N) = 4232.84 18" INV (IN-E) = 4232.84 36" INV (OUT-S) = 4232.84
SD3	3'x3' SD CONTROL BOX REQ'D. RIM = 4238.00 18" INV (IN-N) = 4233.28 18" INV (OUT-W) = 4233.28 15" INV (OUT-E) = 4233.28
SD5	5" SD MANHOLE REQ'D. RIM = 4238.54 18" INV (IN-E) = 4233.36 18" INV (OUT-S) = 4233.36
SD28	OLDCASTLE DVS-BOS DUAL VORTEX SEPARATOR WATER QUALITY TREATMENT DEVICE

KEY NOTE SD PIPES

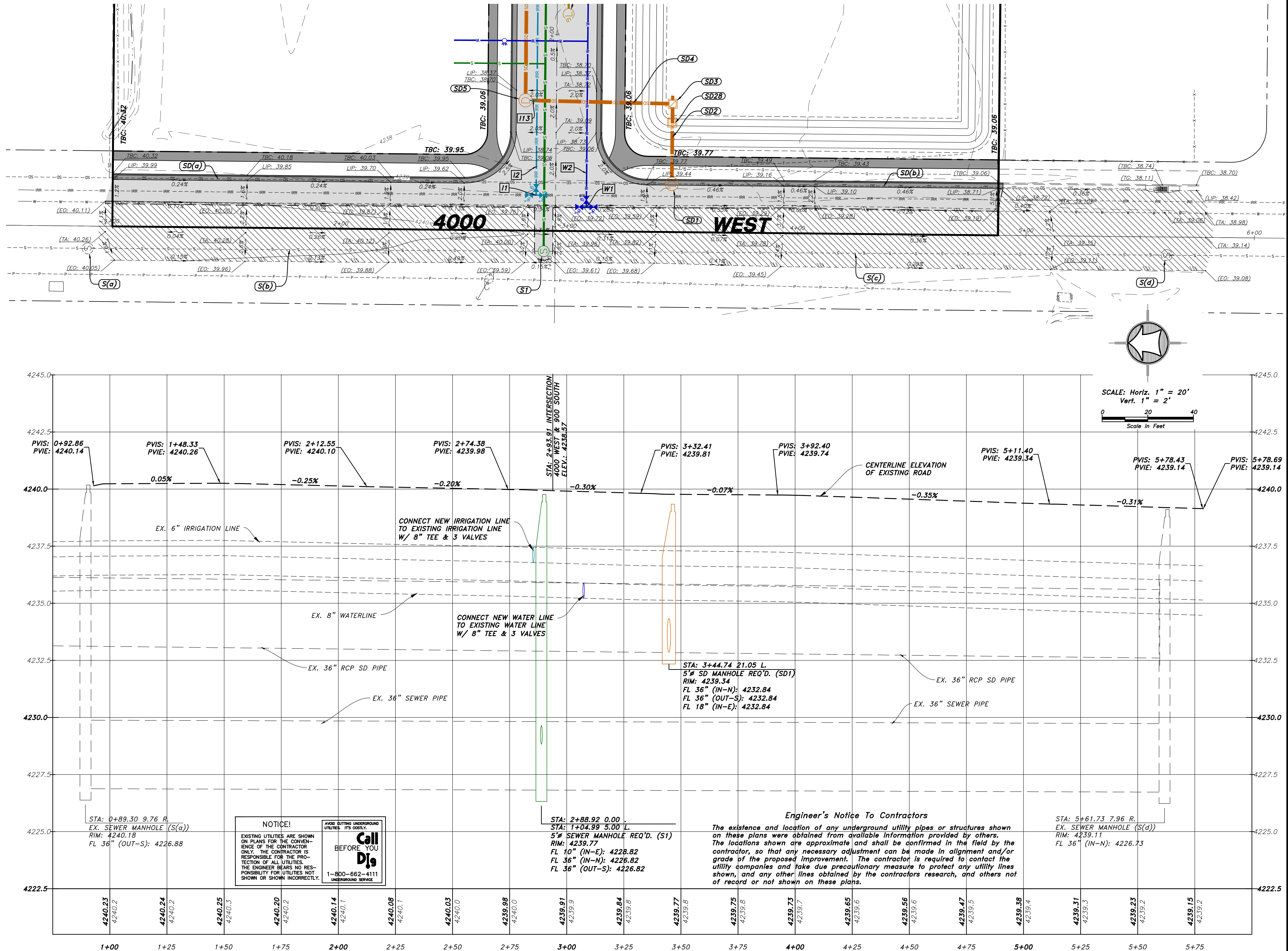
PIPE NAME	DETAILS
Pipe - (63)	Concrete Pipe 4 L.F. @ 0.00% Slope
SD(a)	EX. 36" RCP SD PIPE 492 L.F. @ 0.11% Slope
SD(b)	EX. 36" RCP SD PIPE 215 L.F. @ 0.11% Slope
SD2	18" RCP SD PIPE REQ'D. 35 L.F. @ 1.26% Slope
SD4	18" RCP SD PIPE REQ'D. 64 L.F. @ 0.12% Slope

KEY NOTE CULINARY WATER

NAME	DETAILS
W1	CUT IN 8" TEE W/ 3 VALVES
W2	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 592 L.F. (4' MIN. BURY)

KEY NOTE SECONDARY WATER

NAME	DETAILS
I1	CUT IN 8" TEE W/ 3 VALVES
I2	8" PVC C-900 DR-14 SECONDARY WATERLINE REQ'D. 575 L.F. (2.5' BURY)
I13	6" SECONDARY DRAIN LINE REQ'D.



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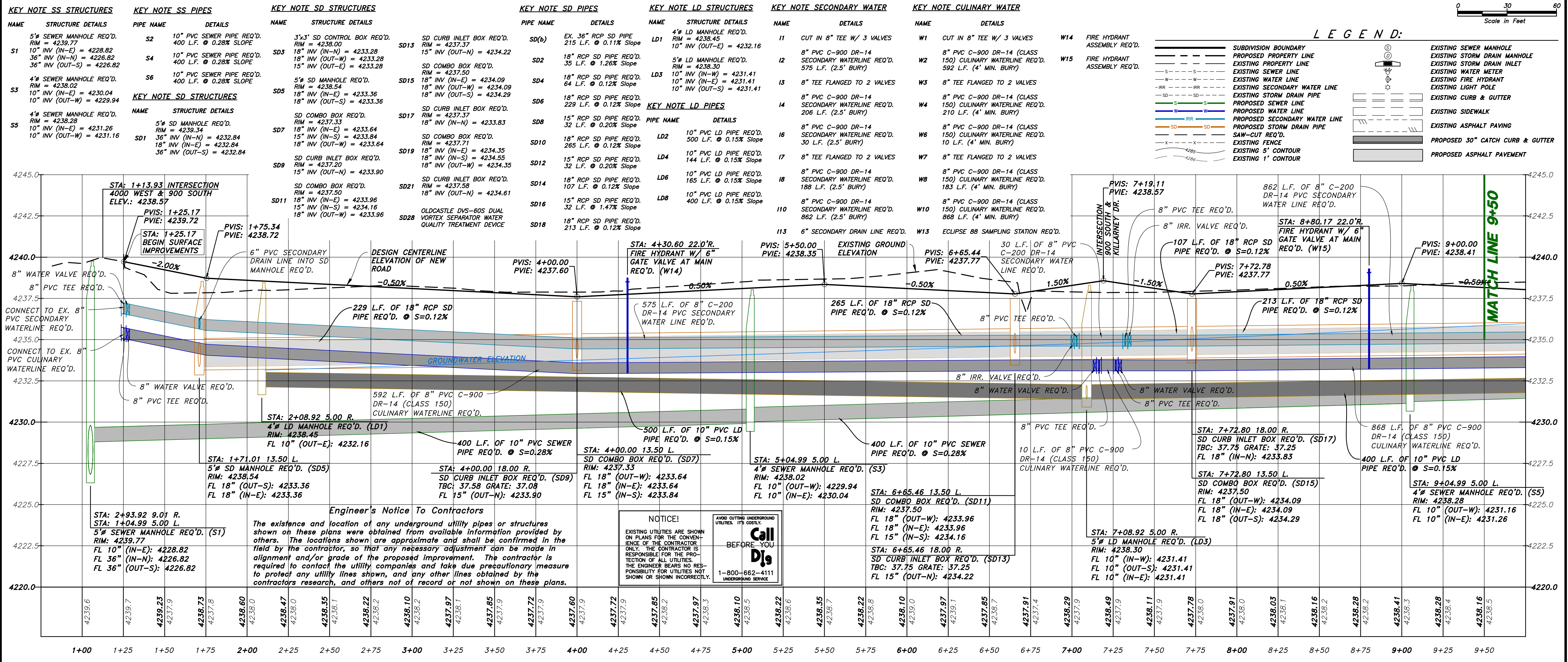
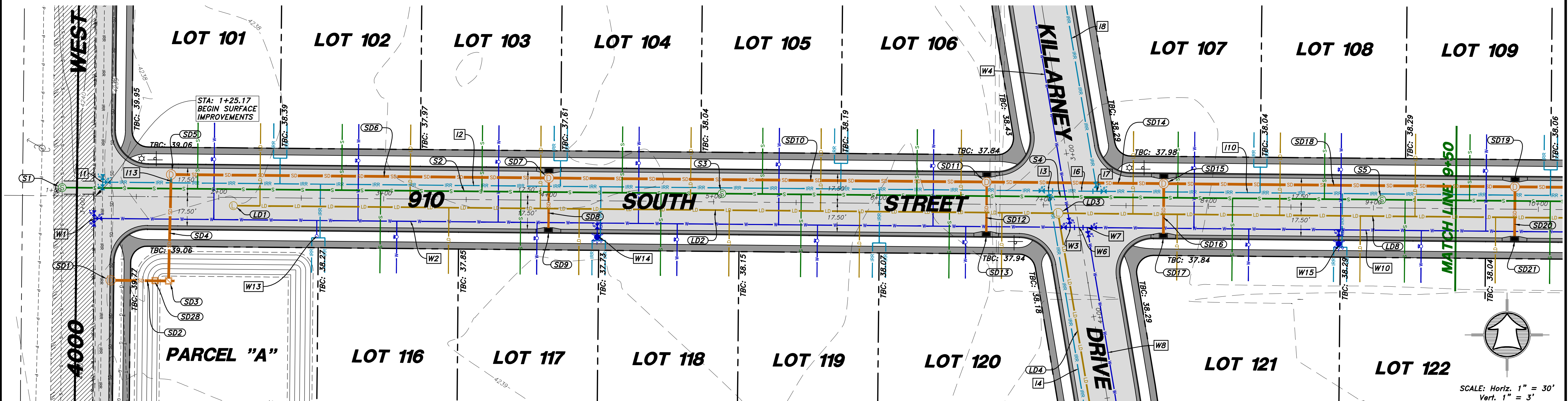
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Checked By:
Approved By:
Scale: 1" = 20'
Drawing File: 19-105r15p03-20-19
JOB NUMBER: 19-105

4000 WEST - PLAN AND PROFILE FOR
**LEGEND POINTE
SUBDIVISION PHASE 1**
SYRACUSE CITY, DAVIS COUNTY, UT

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LEGEND POINTE SUBDIVISION - PHASE 1

900 SOUTH - PLAN AND PROFILE



KEY NOTE SS STRUCTURES

NAME	STRUCTURE DETAILS
S1	5" SEWER MANHOLE REQ'D. RIM = 4238.77
	10" INV (IN-E) = 4228.82
	36" INV (IN-N) = 4226.82
	36" INV (OUT-S) = 4226.82
S3	4" SEWER MANHOLE REQ'D. RIM = 4238.02
	10" INV (IN-E) = 4230.04
	10" INV (OUT-W) = 4229.94
S5	4" SEWER MANHOLE REQ'D. RIM = 4238.28
	10" INV (IN-E) = 4231.26
	10" INV (OUT-W) = 4231.16

KEY NOTE SS PIPES

PIPE NAME	DETAILS
S2	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE
S4	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE
S6	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE

KEY NOTE SD STRUCTURES

NAME	STRUCTURE DETAILS
SD1	5" SD MANHOLE REQ'D. RIM = 4238.34
	36" INV (IN-N) = 4232.84
	18" INV (IN-E) = 4232.84
	36" INV (OUT-S) = 4232.84

KEY NOTE SD PIPES

PIPE NAME	DETAILS
SD3	5" SD MANHOLE REQ'D. RIM = 4237.33
	18" INV (IN-E) = 4233.64
	15" INV (IN-S) = 4233.64
	18" INV (OUT-W) = 4233.64

KEY NOTE LD STRUCTURES

NAME	STRUCTURE DETAILS
LD1	4" LD MANHOLE REQ'D. RIM = 4238.45
	10" INV (OUT-E) = 4232.16
LD3	5" LD MANHOLE REQ'D. RIM = 4238.30
	10" INV (IN-W) = 4231.41
	10" INV (OUT-S) = 4231.41

KEY NOTE LD PIPES

PIPE NAME	DETAILS
LD2	10" PVC LD PIPE REQ'D. 500 L.F. @ 0.15% SLOPE
LD4	10" PVC LD PIPE REQ'D. 144 L.F. @ 0.15% SLOPE
LD6	10" PVC LD PIPE REQ'D. 165 L.F. @ 0.15% SLOPE
LD8	10" PVC LD PIPE REQ'D. 400 L.F. @ 0.15% SLOPE

KEY NOTE SECONDARY WATER

NAME	DETAILS
W1	CUT IN 8" TEE W/ 3 VALVES
W2	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 592 L.F. (4' MIN. BURY)
W3	8" TEE FLANGED TO 2 VALVES
W4	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 210 L.F. (4' MIN. BURY)
W6	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 10 L.F. (4' MIN. BURY)
W7	8" TEE FLANGED TO 2 VALVES
W8	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 183 L.F. (4' MIN. BURY)
W10	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 868 L.F. (4' MIN. BURY)
W13	ECLIPSE 88 SAMPLING STATION REQ'D.

KEY NOTE CULINARY WATER

NAME	DETAILS
W14	FIRE HYDRANT ASSEMBLY REQ'D.
W15	FIRE HYDRANT ASSEMBLY REQ'D.

LEGEND

---	SUBDIVISION BOUNDARY
---	PROPOSED PROPERTY LINE
---	EXISTING PROPERTY LINE
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
---	EXISTING SECONDARY WATER LINE
---	EXISTING STORM DRAIN PIPE
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED SECONDARY WATER LINE
---	PROPOSED STORM DRAIN PIPE
---	SAW-CUT REND
---	EXISTING FENCE
---	EXISTING 5' CONTOUR
---	EXISTING 1' CONTOUR

LEGEND

---	EXISTING SEWER MANHOLE
---	EXISTING STORM DRAIN MANHOLE
---	EXISTING STORM DRAIN INLET
---	EXISTING WATER INLET
---	EXISTING FIRE HYDRANT
---	EXISTING LIGHT POLE
---	EXISTING CURB & GUTTER
---	EXISTING SIDEWALK
---	EXISTING ASPHALT PAVING
---	PROPOSED 30" CATCH CURB & GUTTER
---	PROPOSED ASPHALT PAVEMENT

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Approved By: [Blank]

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JOB NUMBER: 19-105

900 SOUTH - PLAN AND PROFILE FOR

LEGEND POINTE SUBDIVISION PHASE 1

SYRACUSE CITY, DAVIS COUNTY, UT

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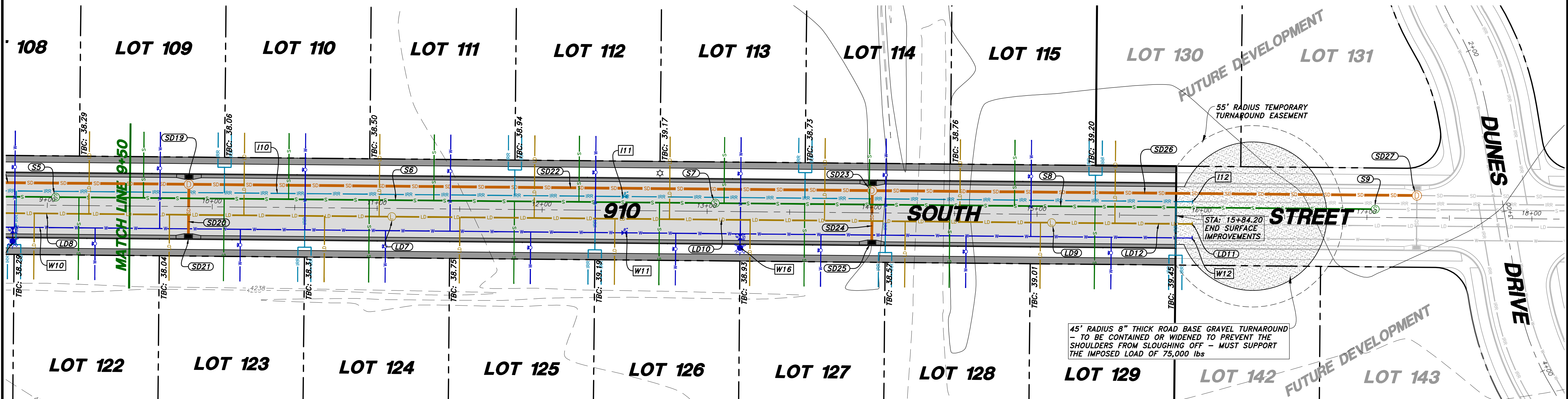
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No.	Date	By	Revision

LEGEND POINTE SUBDIVISION - PHASE 1

900 SOUTH - PLAN AND PROFILE



KEY NOTE SS STRUCTURES

NAME	STRUCTURE DETAILS
S5	4" SEWER MANHOLE REQ'D. RIM = 4238.28 10" INV (IN-E) = 4231.26 10" INV (OUT-W) = 4231.16
S7	4" SEWER MANHOLE REQ'D. RIM = 4238.92 10" INV (IN-E) = 4232.48 10" INV (OUT-W) = 4232.38
S9	4" SEWER MANHOLE REQ'D. RIM = 4239.92 10" INV (OUT-W) = 4233.60

KEY NOTE SS PIPES

PIPE NAME	DETAILS
S4	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE
S6	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE
S8	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% SLOPE

KEY NOTE SD STRUCTURES

NAME	STRUCTURE DETAILS
SD19	SD COMBO BOX REQ'D. RIM = 4237.71 18" INV (IN-E) = 4234.35 18" INV (IN-S) = 4234.55 18" INV (OUT-W) = 4234.35
SD21	SD CURB INLET BOX REQ'D. RIM = 4237.58 18" INV (OUT-N) = 4234.61
SD23	SD COMBO BOX REQ'D. RIM = 4238.28 18" INV (IN-E) = 4234.85 18" INV (OUT-W) = 4234.85 18" INV (OUT-S) = 4235.05
SD25	SD CURB INLET BOX REQ'D. RIM = 4238.15 18" INV (IN-N) = 4234.59
SD27	SD COMBO BOX REQ'D. RIM = 4238.63 18" INV (OUT-W) = 4236.00

KEY NOTE SD PIPES

PIPE NAME	DETAILS
SD16	15" RCP SD PIPE REQ'D. 32 L.F. @ 1.47% Slope
SD18	18" RCP SD PIPE REQ'D. 213 L.F. @ 0.12% Slope
SD20	15" RCP SD PIPE REQ'D. 32 L.F. @ 0.20% Slope
SD22	18" RCP SD PIPE REQ'D. 414 L.F. @ 0.12% Slope
SD24	15" RCP SD PIPE REQ'D. 31 L.F. @ 1.47% Slope

KEY NOTE LD STRUCTURES

NAME	STRUCTURE DETAILS
LD7	4" LD MANHOLE REQ'D. RIM = 4238.49 10" INV (IN-E) = 4232.01 10" INV (OUT-W) = 4232.01
LD9	4" LD MANHOLE REQ'D. RIM = 4238.99 10" INV (IN-E) = 4233.06 10" INV (OUT-W) = 4233.06
LD10	10" PVC LD PIPE REQ'D. 400 L.F. @ 0.26% Slope
LD12	10" PVC LD PIPE REQ'D. 85 L.F. @ 0.28% Slope
LD11	TEMPORARY LAND DRAIN CLEANOUT REQ'D.

KEY NOTE LD PIPES

PIPE NAME	DETAILS
LD8	10" PVC LD PIPE REQ'D. 400 L.F. @ 0.15% Slope
LD10	10" PVC LD PIPE REQ'D. 400 L.F. @ 0.26% Slope
LD12	10" PVC LD PIPE REQ'D. 85 L.F. @ 0.28% Slope
LD11	TEMPORARY LAND DRAIN CLEANOUT REQ'D.

KEY NOTE CULINARY WATER

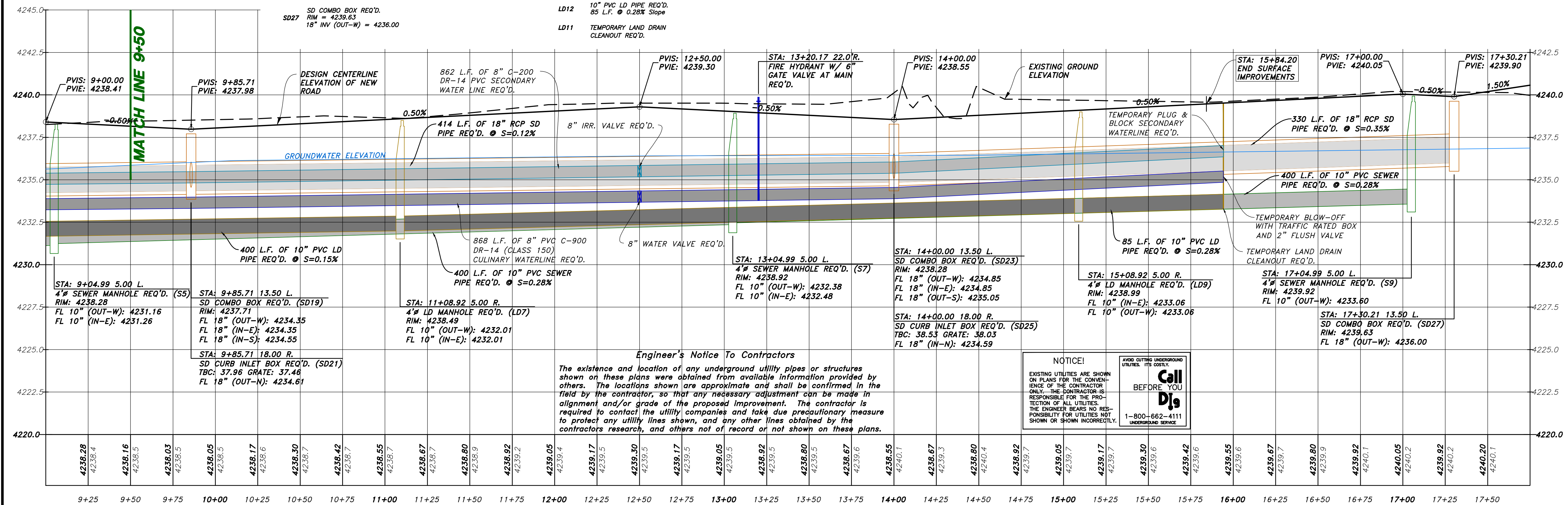
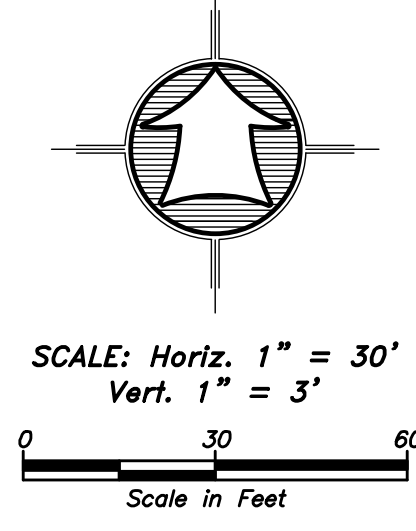
NAME	DETAILS
W10	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 868 L.F. (4' MIN. BURY)
W11	8" INLINE VALVE REQ'D.
W12	TEMPORARY BLOW-OFF WITH TRAFFIC RATED BOX AND 2" FLUSH VALVE
W16	FIRE HYDRANT ASSEMBLY REQ'D.

KEY NOTE SECONDARY WATER

NAME	DETAILS
110	8" PVC C-900 DR-14 SECONDARY WATERLINE REQ'D. 862 L.F. (2.5' BURY)
111	8" INLINE VALVE REQ'D.
112	TEMPORARY PLUG & BLOCK
113	6" SECONDARY DRAIN LINE REQ'D.

LEGEND:

---	SUBDIVISION BOUNDARY	---	EXISTING SEWER MANHOLE
---	PROPOSED PROPERTY LINE	---	EXISTING STORM DRAIN MANHOLE
---	EXISTING PROPERTY LINE	---	EXISTING STORM DRAIN INLET
---	EXISTING SEWER LINE	---	EXISTING WATER METER
---	EXISTING WATER LINE	---	EXISTING FIRE HYDRANT
---	EXISTING SECONDARY WATER LINE	---	EXISTING LIGHT POLE
---	EXISTING STORM DRAIN PIPE	---	EXISTING CURB & GUTTER
---	PROPOSED SEWER LINE	---	EXISTING SIDEWALK
---	PROPOSED WATER LINE	---	EXISTING ASPHALT PAVING
---	PROPOSED SECONDARY WATER LINE	---	PROPOSED 30" CATCH CURB & GUTTER
---	PROPOSED STORM DRAIN PIPE	---	PROPOSED ASPHALT PAVEMENT
---	SAW-CUT REQ'D.		
---	EXISTING FENCE		
---	EXISTING 5' CONTOUR		
---	EXISTING 1' CONTOUR		



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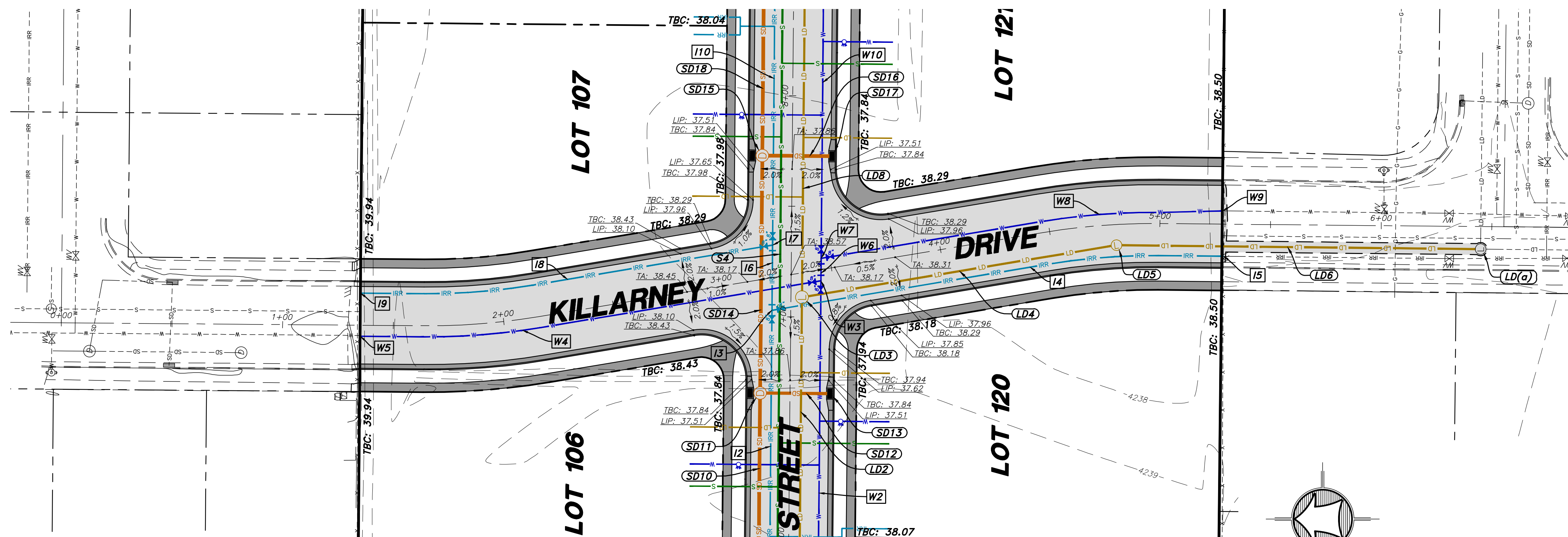
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Scale: 1" = 30'
Drawing File: 19-105r15p03-20-19
JOB NUMBER: 19-105

900 SOUTH - PLAN AND PROFILE FOR
LEGEND POINTE SUBDIVISION PHASE 1
SYRACUSE CITY, DAVIS COUNTY, UT

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LEGEND POINTE SUBDIVISION - PHASE 1

KILLARNEY DRIVE - PLAN AND PROFILE



KEY NOTE SECONDARY WATER

NAME	DETAILS
12	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 575 L.F. (2.5' BURY)
13	8" TEE FLANGED TO 2 VALVES
14	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 206 L.F. (2.5' BURY)
15	CONNECT TO EX. 8" SECONDARY LINE
16	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 30 L.F. (2.5' BURY)
17	8" TEE FLANGED TO 2 VALVES
18	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 188 L.F. (2.5' BURY)
19	CONNECT TO EX. 8" SECONDARY LINE
110	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 862 L.F. (2.5' BURY)

KEY NOTE CULINARY WATER

NAME	DETAILS
W2	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 592 L.F. (4" MIN. BURY)
W3	8" TEE FLANGED TO 2 VALVES
W4	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 210 L.F. (4" MIN. BURY)
W5	CONNECT TO EX. 8" WATERLINE
W6	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 10 L.F. (4" MIN. BURY)
W7	8" TEE FLANGED TO 2 VALVES
W8	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 183 L.F. (4" MIN. BURY)
W9	CONNECT TO EX. 8" WATERLINE
W10	8" PVC C-900 DR-14 (CLASS 150) CULINARY WATERLINE REQ'D. 868 L.F. (4" MIN. BURY)

KEY NOTE SD STRUCTURES

NAME	STRUCTURE DETAILS
SD11	SD COMBO BOX REQ'D. RIM = 4237.50
SD13	SD CURB INLET BOX REQ'D. RIM = 4237.37
SD15	SD COMBO BOX REQ'D. RIM = 4237.50
SD17	SD CURB INLET BOX REQ'D. RIM = 4237.37

KEY NOTE SD PIPES

PIPE NAME	DETAILS
SD8	15" RCP SD PIPE REQ'D. 32 L.F. @ 0.20% Slope
SD10	18" RCP SD PIPE REQ'D. 265 L.F. @ 0.12% Slope
SD12	15" RCP SD PIPE REQ'D. 32 L.F. @ 0.20% Slope
SD14	18" RCP SD PIPE REQ'D. 107 L.F. @ 0.12% Slope
SD16	15" RCP SD PIPE REQ'D. 32 L.F. @ 1.47% Slope

KEY NOTE LD STRUCTURES

NAME	STRUCTURE DETAILS
LD(a)	EX. LD MANHOLE RIM = 4237.74
LD1	4" LD MANHOLE REQ'D. RIM = 4238.45
LD3	5" LD MANHOLE REQ'D. RIM = 4238.30
LD5	10" INV (IN-W) = 4231.41
LD6	10" INV (IN-E) = 4231.41
LD8	10" INV (OUT-S) = 4231.41

KEY NOTE LD PIPES

PIPE NAME	DETAILS
LD2	10" PVC LD PIPE REQ'D. 500 L.F. @ 0.15% Slope
LD4	10" PVC LD PIPE REQ'D. 144 L.F. @ 0.15% Slope
LD6	10" PVC LD PIPE REQ'D. 165 L.F. @ 0.15% Slope
LD8	10" PVC LD PIPE REQ'D. 400 L.F. @ 0.15% Slope

KEY NOTE SS PIPES

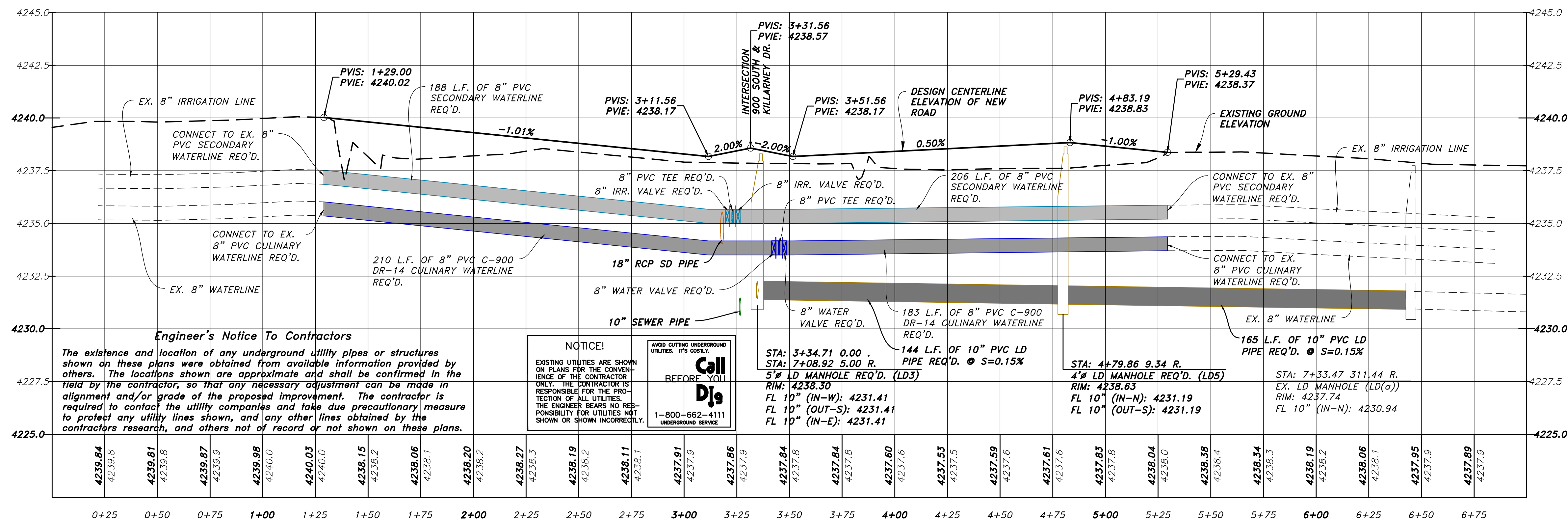
PIPE NAME	DETAILS
S4	10" PVC SEWER PIPE REQ'D. 400 L.F. @ 0.28% Slope

SCALE: Horiz. 1" = 30'
Vert. 1" = 3'

Scale in Feet

LEGEND:

---	SUBDIVISION BOUNDARY	---	EXISTING SEWER LINE
---	PROPOSED PROPERTY LINE	---	EXISTING WATER LINE
---	EXISTING PROPERTY LINE	---	EXISTING SECONDARY WATER LINE
---	EXISTING WATER METER	---	EXISTING STORM DRAIN PIPE
---	EXISTING FIRE HYDRANT	---	PROPOSED SEWER LINE
---	EXISTING LIGHT POLE	---	PROPOSED WATER LINE
---	EXISTING CURB & GUTTER	---	PROPOSED SECONDARY WATER LINE
---	EXISTING SIDEWALK	---	PROPOSED STORM DRAIN PIPE
---	EXISTING ASPHALT PAVING	---	SAW-CUT REQ'D.
---	PROPOSED 30" CATCH CURB & GUTTER	---	EXISTING FENCE
---	PROPOSED ASPHALT PAVEMENT	---	EXISTING 5' CONTOUR
---		---	EXISTING 1' CONTOUR



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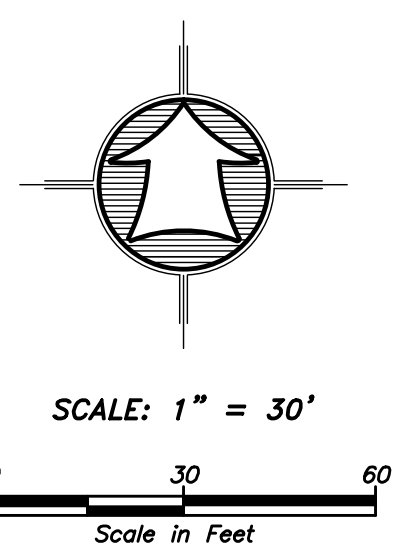
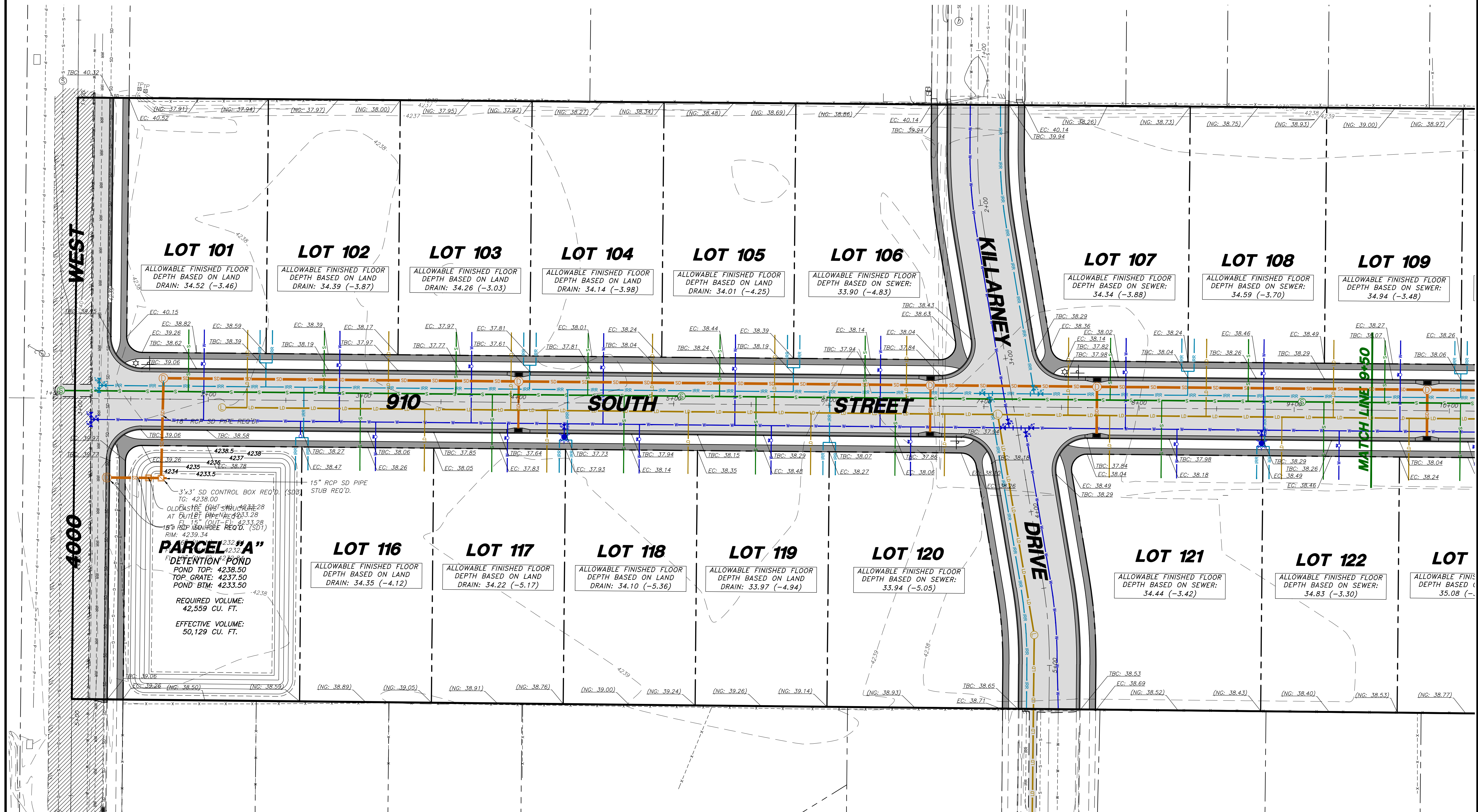
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KILLARNEY DRIVE - PLAN AND PROFILE FOR
LEGEND POINTE SUBDIVISION PHASE 1
SYRACUSE CITY, DAVIS COUNTY, UT

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LEGEND POINTE SUBDIVISION PHASE 1

LOT GRADING

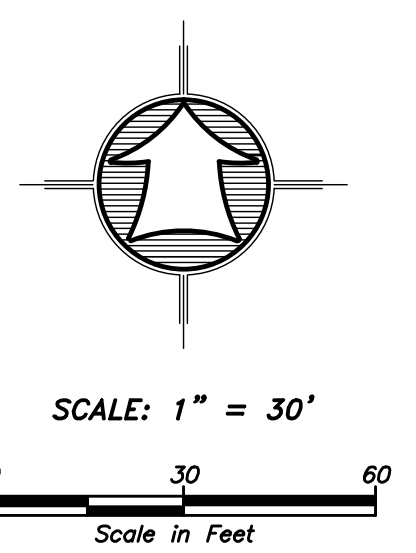


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Drawn By: MTH	Date: 03/26/19
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Scale: 1" = 30'	
Drawing File: 19-105r15p03-20-19	
JOB NUMBER: 19-105	

Sheet	By	Date	No.	Revision
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LOT GRADING FOR
**LEGEND POINTE
SUBDIVISION PHASE 1**
SYRACUSE CITY, DAVIS COUNTY, UT

LOT GRADING



Sheet

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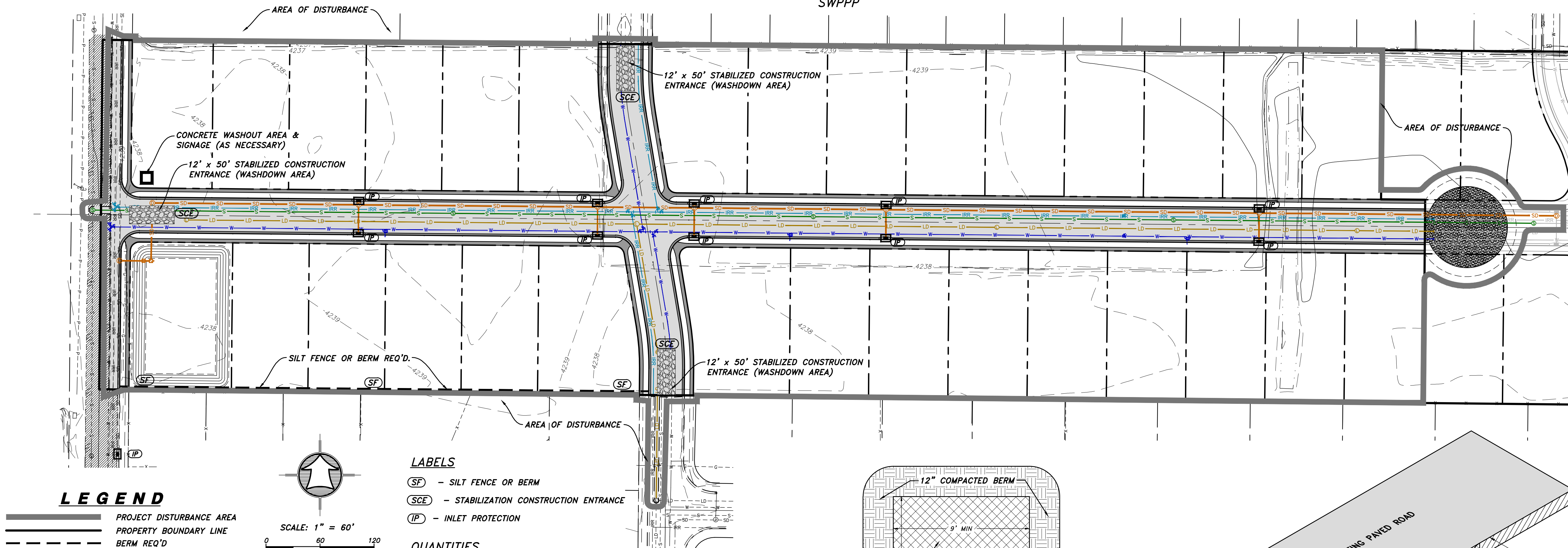
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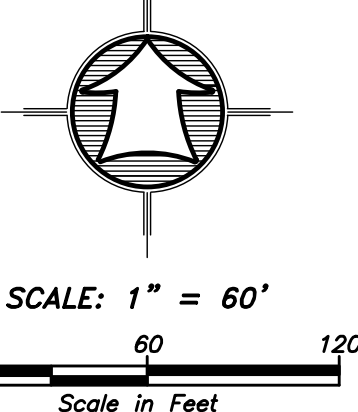
LEGEND POINTE SUBDIVISION - PHASE 1

SWPPP



LEGEND

- PROJECT DISTURBANCE AREA
- PROPERTY BOUNDARY LINE
- BERM REQ'D
- TRACKING PAD
- CONCRETE WASHOUT AREA & SIGNAGE



LABELS

- (SF) - SILT FENCE OR BERM
- (SCE) - STABILIZATION CONSTRUCTION ENTRANCE
- (IP) - INLET PROTECTION

QUANTITIES

- SILT FENCE/BERM - 600 LF
- STABILIZED CONSTRUCTION ENTRANCE - 3
- INLET PROTECTION - 11

LOCATION:

LOCATION: SYRACUSE, DAVIS COUNTY, UTAH
SECTION 8, TOWNSHIP 4 NORTH, RANGE 2 WEST, SLB&M

PROJECT DATA:

TAX ID #: 12-047-0253
PARCEL ACREAGE: 23.10 ACRES
PROJECT ACREAGE: 6.65 ACRES

LEGEND POINTE SUBDIVISION PHASE 1
920 S 4000 W
SYRACUSE, UT 84075

OVERVIEW:

THE PROJECT CONSISTS OF STREET AND UTILITY INSTALLATION FOR A THIRTY LOT SUBDIVISION. GRADING WORK IS ALSO REQUIRED IN THE CONSTRUCTION OF THE ROAD, SIDEWALK, AND CURB & GUTTER. DRAINAGE FROM ON-SITE ACTIVITY IS LARGELY SELF-CONTAINED WITH THE EXCEPTION OF SOME FLOWS TO BE INTERCEPTED BY THE SILT FENCE/BERM TO BE INSTALLED AT THE SOUTH BOUNDARY AT THE WEST END OF THE PROJECT. CONCRETE WASHOUT AREAS ARE TO BE LOCATED NEAR THE ENTRANCES/EXITS AS NECESSARY.

MAINTENANCE/RECORD-KEEPING:

STRICT RECORD KEEPING IS IMPERATIVE. THE PROJECT WILL BE STATE-PERMITTED BUT PARTICULARLY UNDER THE AUSPICES OF SYRACUSE CITY. KEEP INSPECTION REPORTS FORMS/FORMATS AS MANDATED BY SYRACUSE CITY. A THOROUGH INSPECTION OF THE SWPPP MUST BE CONDUCTED AT LEAST EVERY 14 DAYS AND AFTER ANY PRECIPITATION (0.5 INCHES OF RAINFALL OR MORE) OR SNOWMELT THAT CAUSES SURFACE EROSION. MAINTENANCE AND/OR MODIFICATIONS TO EROSION MEASURES MUST BE COMPLETED IN A TIMELY MANNER, BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER THE INSPECTION. THE ENFORCEMENT AGENCY IS SYRACUSE CITY, WHO ADMINISTERS AND ENFORCES STORMWATER POLLUTION PREVENTION PLANS LOCALLY. STORMWATER MANAGEMENT ASPECTS AND PROCEDURES MAY BE MODIFIED BY PERMITTEE (AND/OR OFFICIAL REPRESENTATIVE) UPON OBTAINING SYRACUSE CITY APPROVAL.

DISTURBED AREAS:

- SUBDIVISION PROJECT AREA: 564,248 SQ. FT.
12.95 ACRES
- AREA OF DISTURBANCE: 608,616 SQ. FT.
13.97 ACRES
- IMPERVIOUS AREA:
(ROADS & SIDEWALK) 93,702 SQ. FT.
2.15 ACRES
- (ADDING 3,500 SQ. FT. HOMES) 195,202 SQ. FT.
4.48 ACRES
- PERMEABLE AREA: 369,046 SQ. FT.
8.47 ACRES
- WEIGHTED COEFFICIENT: C = 0.43

SWPPP PHASING - ORDER OF WORK:

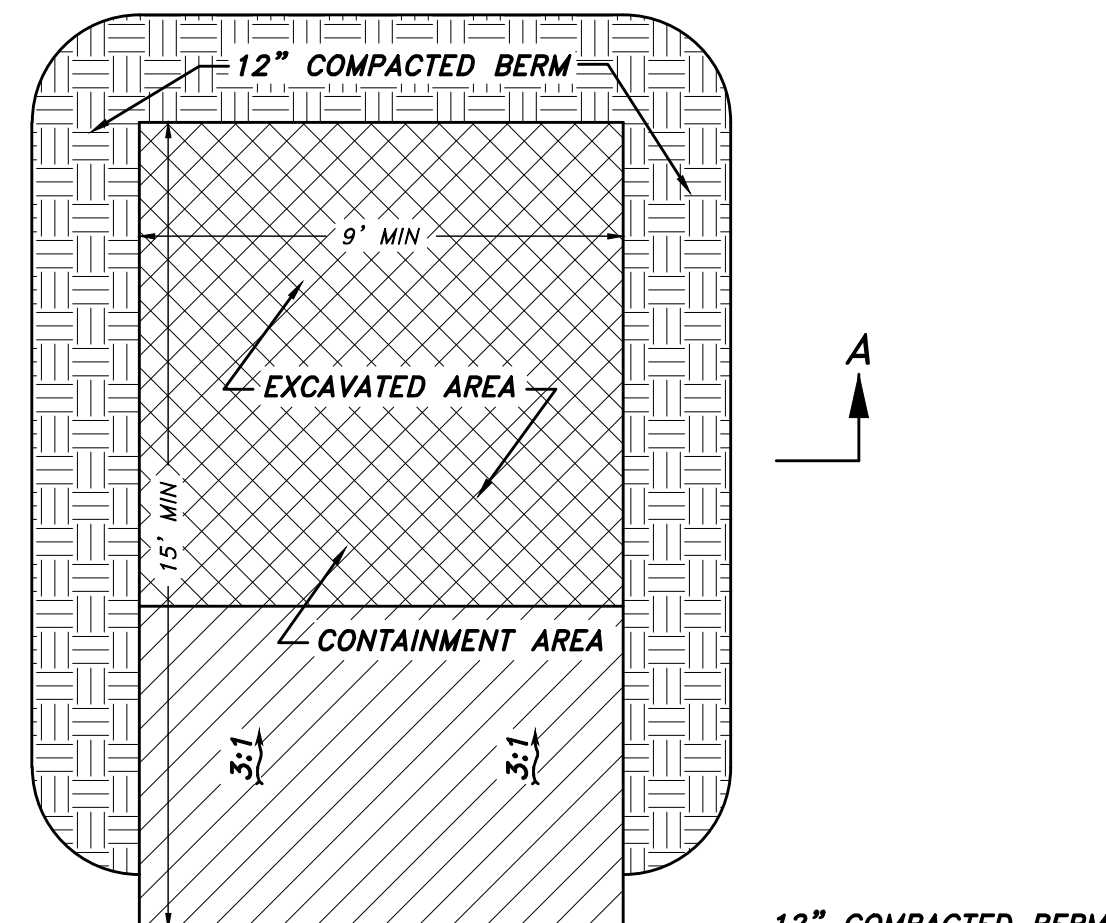
- PHASE 1: CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SIGNAGE, SILT FENCES & BERMS.
- PHASE 2: MAINTAIN STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SILT FENCES & BERMS DURING CONSTRUCTION AND SITE IMPROVEMENTS.
- PHASE 3: UPON ASPHALTING, REMOVE CONSTRUCTION ENTRANCE, TEMPORARY SILT FENCES & BERMS. PERMANENT 18" EASTERLY BERM TO REMAIN.

CONCRETE WASHOUT AREA NOTES:

INSTALLATION: PROPER SIGNAGE SUCH AS "CONCRETE WASHOUT" OR "CONCRETE SAW WATER DISPOSAL" SHALL BE PLACED NEAR CONCRETE WASHOUT FACILITIES. A CONTINUOUS ONE-FOOT TALL COMPACTED EARTH BERM SHALL BE PLACED ON THREE SIDES OF THE EXCAVATED PIT. THE BOTTOM OF THE EXCAVATED PIT MUST BE PROVEN TO BE AT LEAST 5 VERTICAL FEET ABOVE GROUNDWATER OR THE PIT MUST BE LINED WITH A CLAY OR SYNTHETIC LINER DESIGNED TO CONTROL SEEPAGE.

MAINTENANCE: THE FACILITIES SHALL BE MAINTAINED IN GOOD CONDITION TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY OPERATIONS AT THE PROJECT SITE. HARDENED CONCRETE SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE THE PIT IS 75 PERCENT FULL AND AS NEEDED. WASTE SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.

NOTE: ADDING SOLVENTS, FLOCCULENTS, OR ACID TO THE WASHWATER IS PROHIBITED.

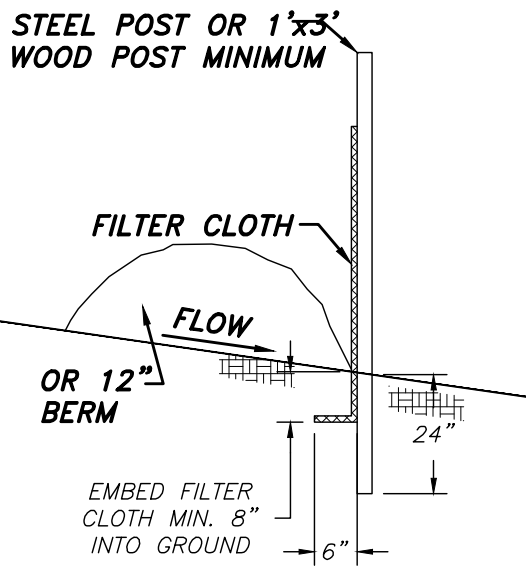


PLAN VIEW

CROSS SECTION A-A

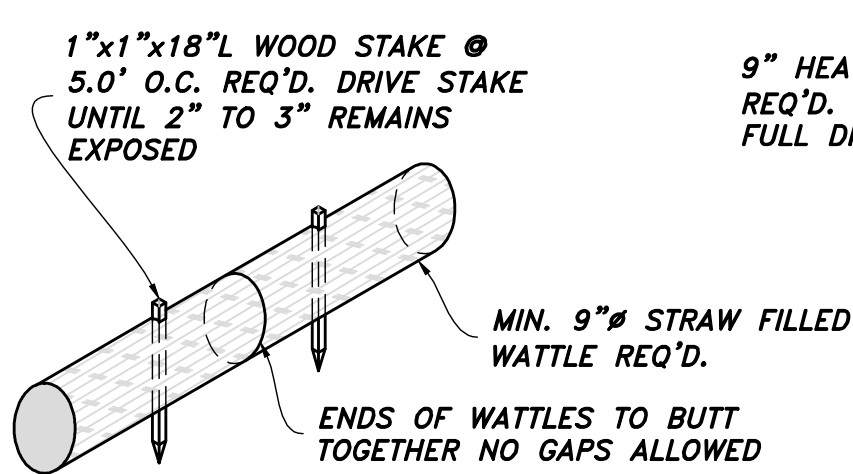
CONCRETE WASHOUT AREA

NOT TO SCALE



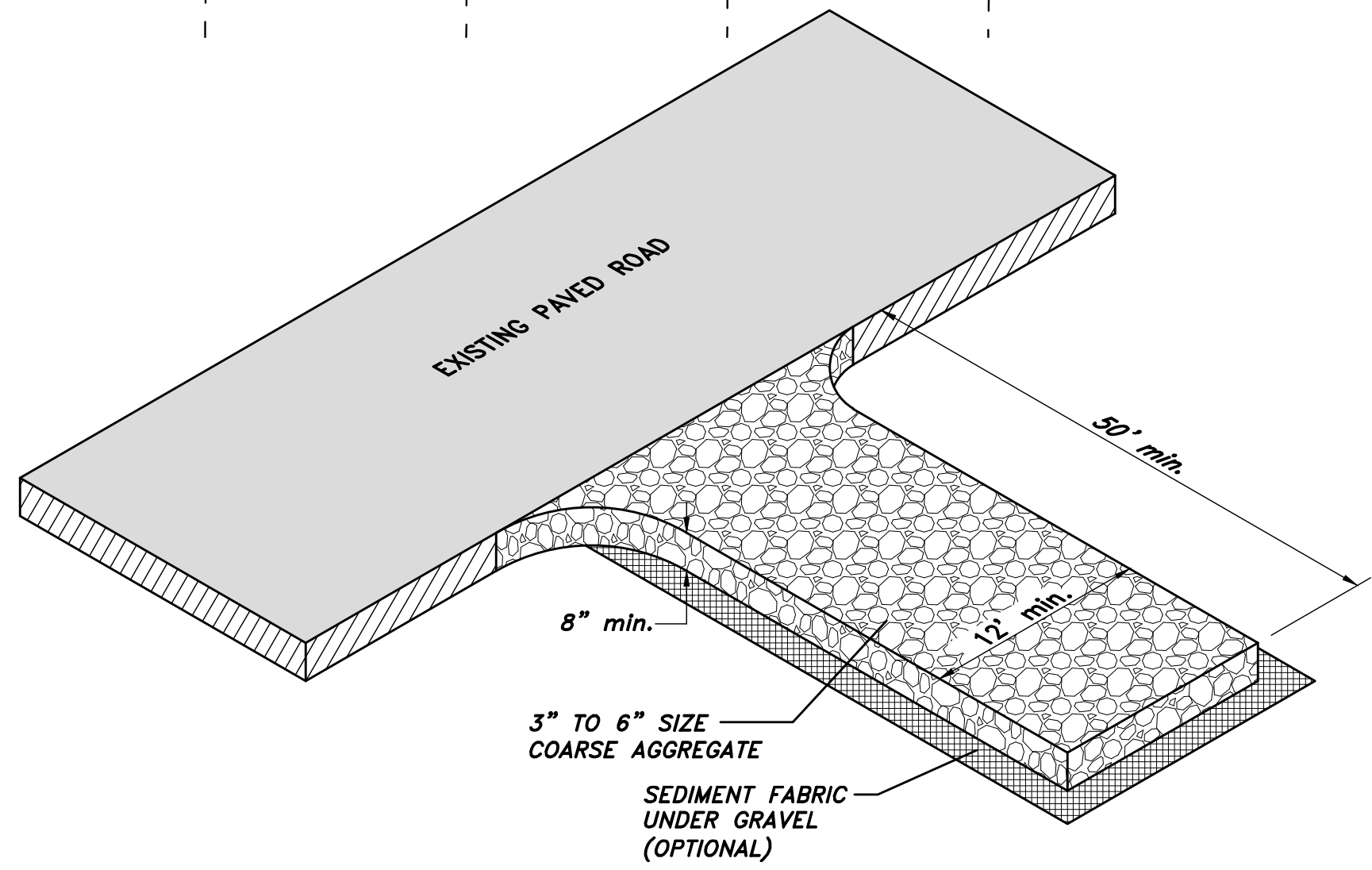
SILT FENCE DETAIL

NOT TO SCALE



TYPICAL WATTLE/ FILTER SOCK

NOT TO SCALE - MAY BE USED IN SELECT PLACES TO CONTROL EROSION



STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOTES:

INSTALLATION/APPLICATION CRITERIA:

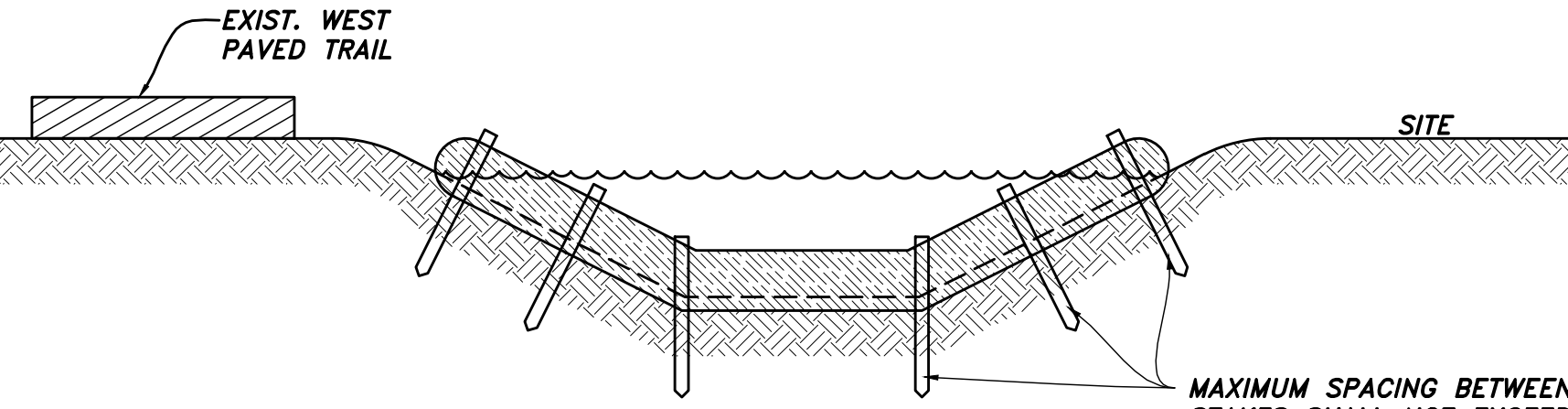
1. CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2X.
2. COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)
3. PLACE COARSE AGGREGATE, 3" TO 6" IN SIZE, TO A MINIMUM DEPTH OF 8".

LIMITATIONS:

1. REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
2. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:

1. INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
2. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
3. REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
4. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.



DRAINAGE SWALE PROTECTION

NOT TO SCALE - LOOKING NORTH
AS NECESSARY - NOT DEEMED PERTINENT AT THIS TIME

HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.haies.net
Logan
Brigham City
(435) 723-3491 (801) 399-4905 (435) 752-8272

HAI

Drawn By: MTH Date: 03/26/19
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SWPPP FOR
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SUBDIVISION PHASE 1
SYRACUSE CITY, DAVIS COUNTY, UT

Sheet

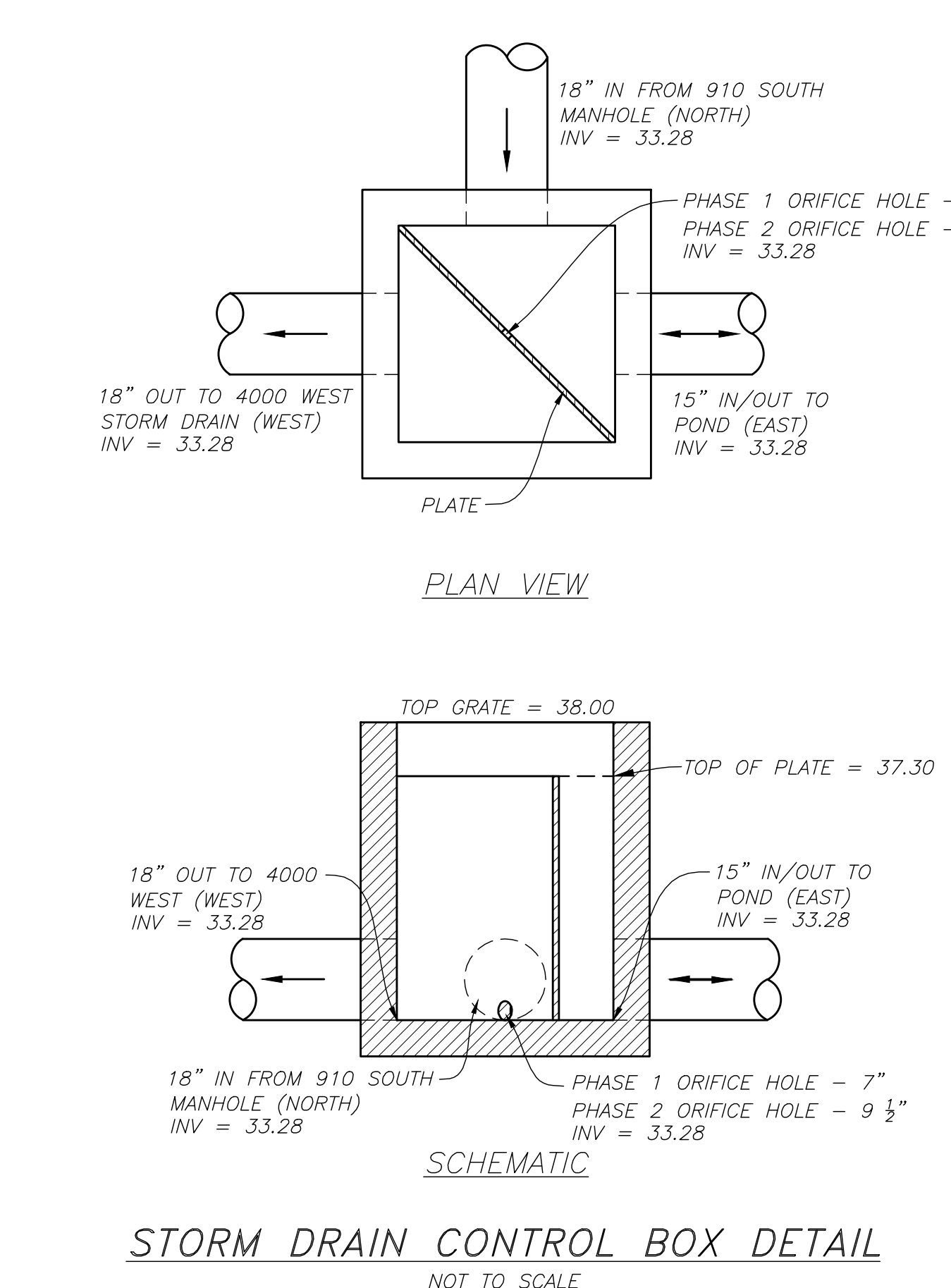
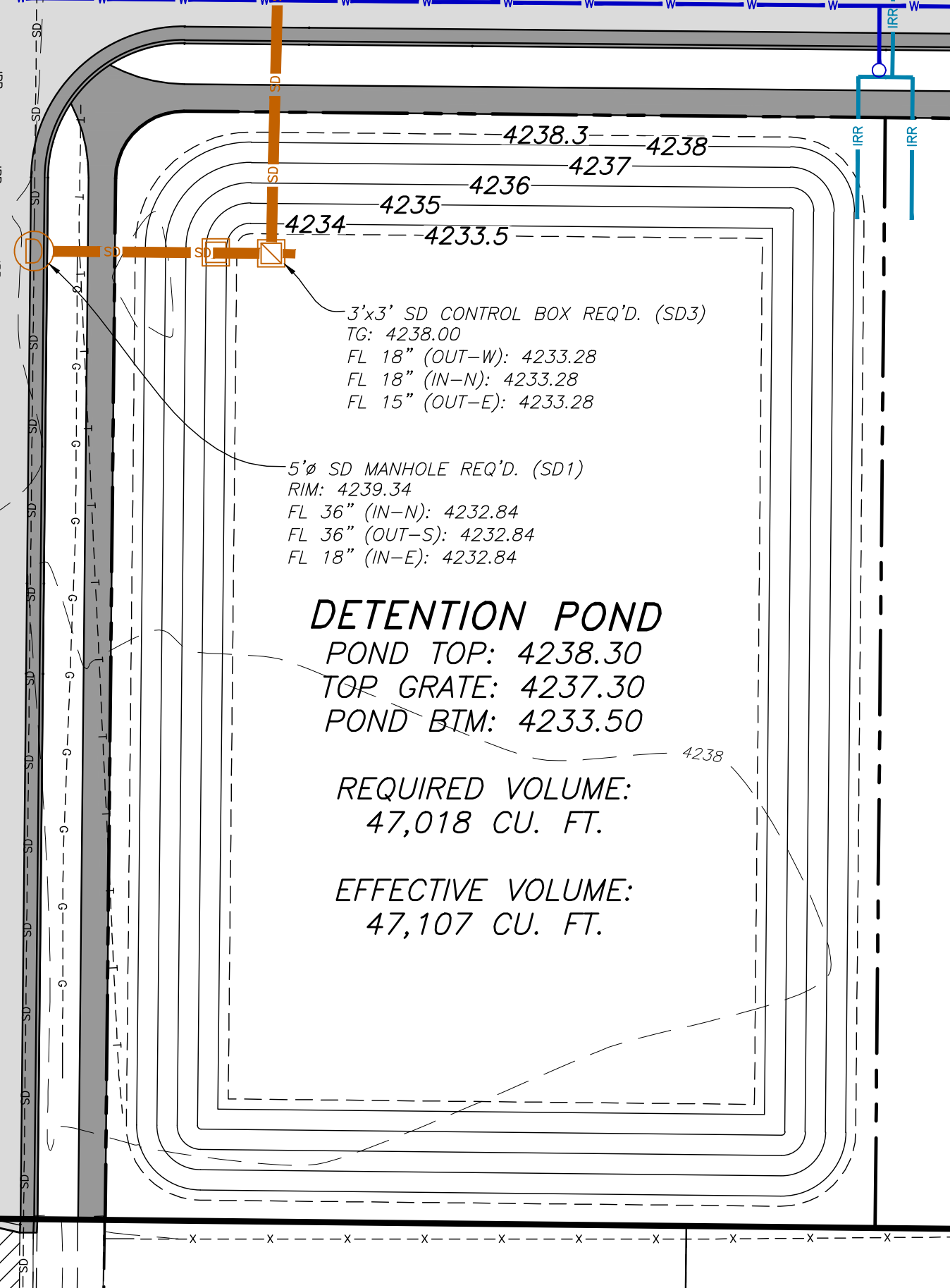
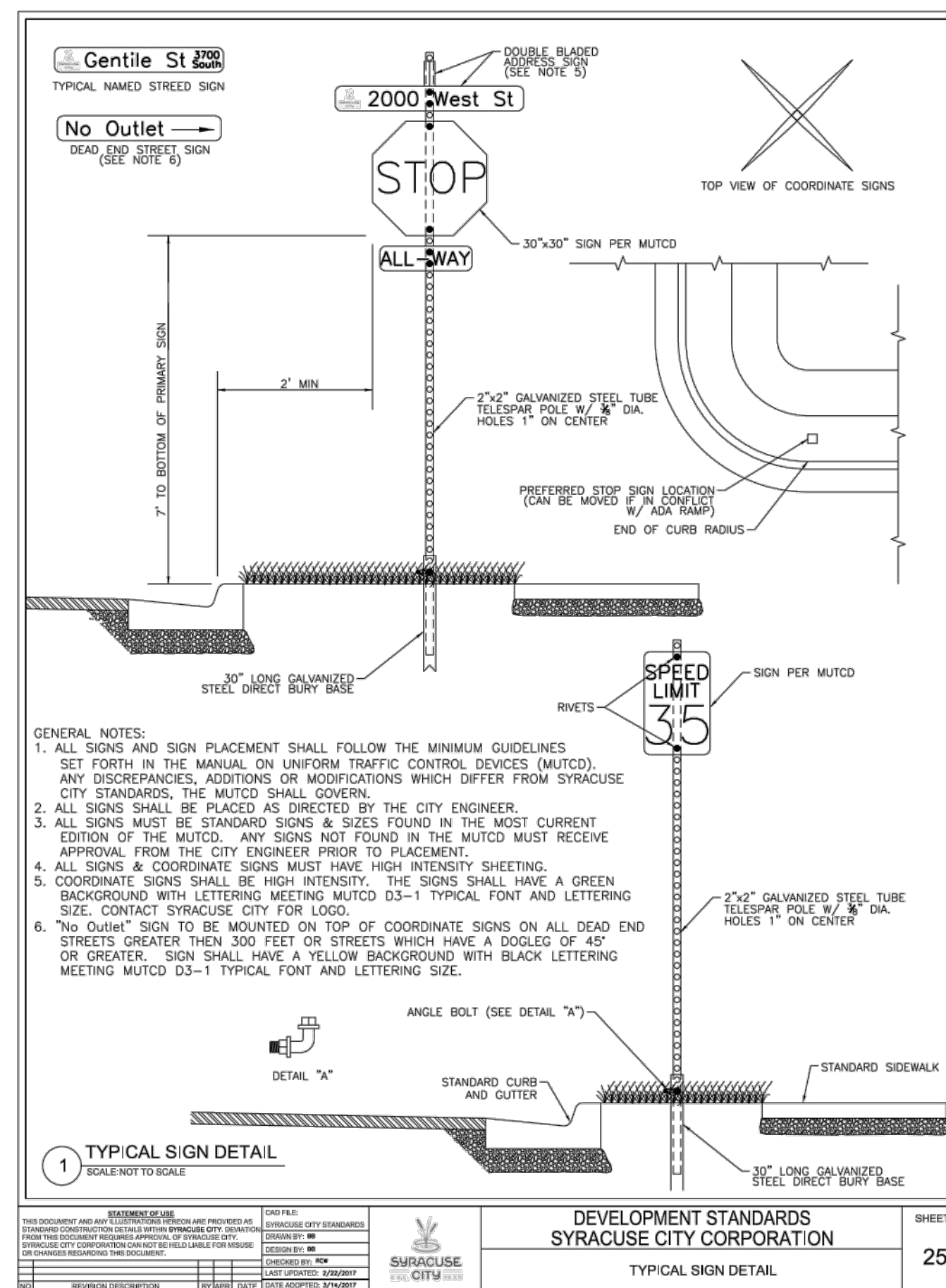
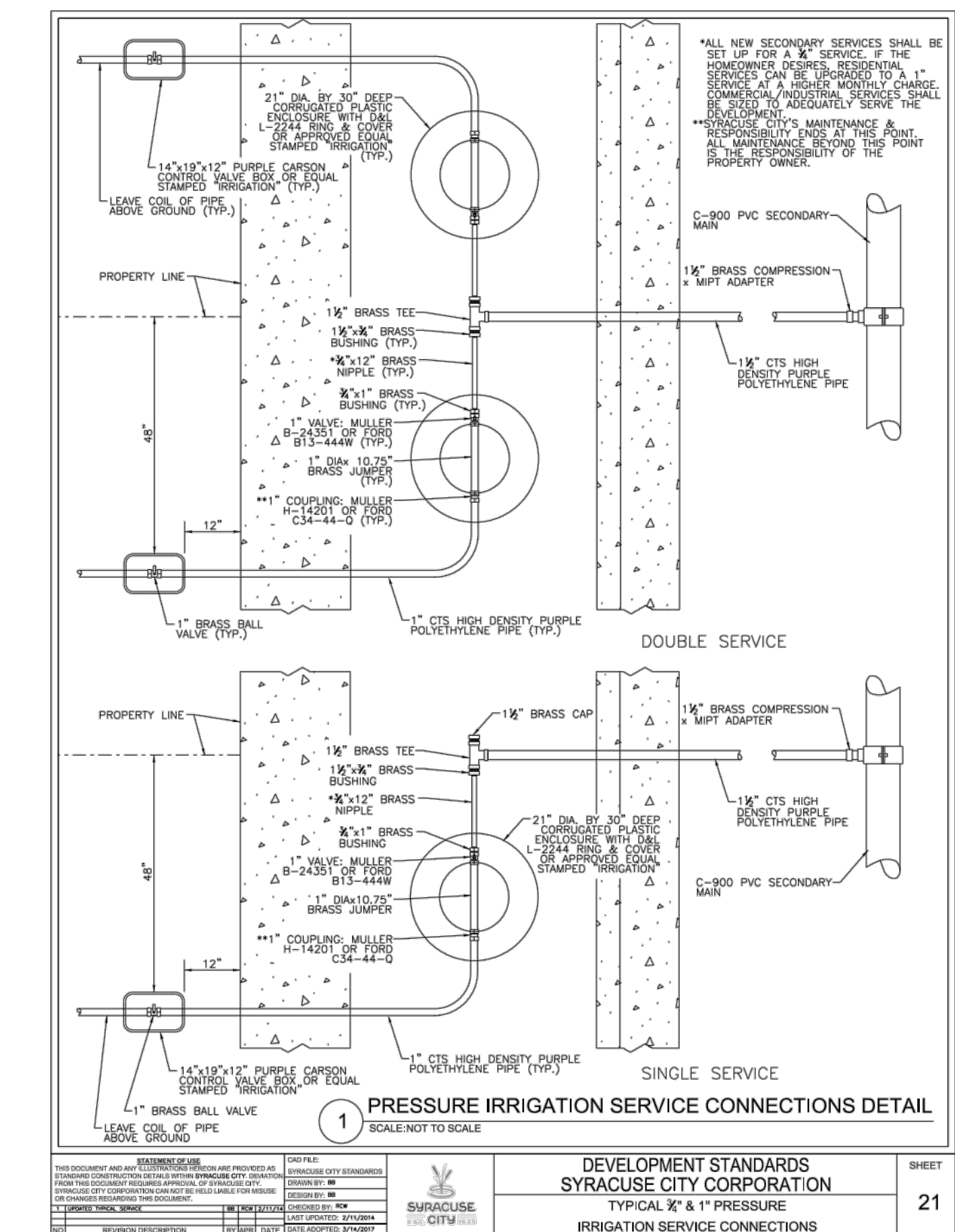
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Sheets

DETAIL SHEET

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R-2 ZONING ORDINANCE

10.65.010 Purpose.

The purpose of this zone is to provide for moderate density single-family residential development that conforms to the system of services available.

10.65.020 Permitted uses.

The following, and no others, are uses permitted by right provided the parcel and building meet all other provisions of this title and any other applicable ordinances of Syracuse City.

(A) Accessory uses and buildings (200 square feet or less).

(B) Agriculture.

(C) Churches, synagogues, and temples.

(D) Dwellings, single-family.

(E) Educational services.

(F) Household pets.

(G) Minor home occupations.

(H) Public and quasi-public buildings.

(I) Public parks.

(J) Rabbits and hens.

(K) Residential facilities for persons with disabilities.

(L) Vietnamese potbellied pigs.

10.65.030 Conditional uses.

The following, and no others, may be conditional uses permitted after application and approval as specified in SCC 10.20.080:

(A) Accessory uses and buildings (greater than 200 square feet) (minor).

(B) Apiaries (minor).

(C) Day care centers (major).

(D) Dwellings, accessory (major/minor, see SCC 10.30.020).

(E) Dwelling groups (major).

(F) Dog kennels (minor).

(G) Home occupations (major).

(H) Temporary commercial uses (see SCC 10.35.050) (minor).

(I) Temporary use of buildings (see SCC 10.30.100(A)(12)) (minor).

10.65.040 Minimum lot standards.

All lots shall be developed and all structures and uses shall be placed on lots in accordance with the following standards:

(A) Density: minimum lot size 10,000 square feet, but in no case shall the density exceed 3.0 lots per gross acre.

(B) Lot width: 85 feet.

(C) Front yard: 25 feet.

(D) Side yards: eight feet (both sides).

(E) Rear yard: 30 feet.

(F) Building height: as allowed by current building code.

(G) Variation of lot: the Land Use Authority may reduce the lot width requirement in particular cases when a property owner provides evidence they acquired the land in good faith and, by reason of size, shape, or other special condition(s) of the specific property, application of the lot width requirement would effectively prohibit or unreasonably restrict the ability to subdivide the property or a reduction of the lot width requirement would alleviate a clearly demonstrable hardship as distinguished from a special privilege sought by the applicant. The Land Use Authority shall approve no lot width reduction without a determination that:

(1) The strict application of the lot width requirement would result in substantial hardship;

(2) Adjacent properties do not share generally such a hardship and the property in question has unusual circumstances or conditions where literal enforcement of the requirements of the zone would result in severe hardship;

(3) The granting of such reduction would not be of substantial detriment to adjacent property or influence negatively upon the intent of the zone;

(4) The condition or situation of the property concerned or the intended use of the property is not of so general or recurring a nature as to detract from the intention or appearance of the zone as identified in the City's general plan.

10.65.050 Off-street parking and loading.

Off-street parking and loading shall be provided as specified in Chapter 10.40 SCC.

10.65.060 Signs.

The signs permitted in this zone shall be those allowed in residential zones by Chapter 10.45 SCC.



Mayor
Mike Gailey

Final Subdivision Plan Review

City Council
Corinne Bolduc
Lisa Bingham
David Maughan
Jordan Savage
Doug Peterson

City Manager
Brody Bovero

3/29/2019

Dear Applicant,

The Syracuse City Community and Economic Development Department has conducted a review of the Hunter's Glen Phase 1 Subdivision Final Plan for compliance with the city's adopted land use ordinance. Please refer to the following table for items that require additional attention.

1. Remove the Davis County parcel along the north edge of the property.
2. Remove Plat note 4. The leftover Davis County Parcel will be rectified with the quit claim deed.
3. Show addressing in accordance with the attached addressing list. Corner lots on 4000 West are not fully addressed.

Please contact me with any questions concerning this project.

Regards,

Royce Davies
City Planner
(801) 614-9632
rdavies@syracuseut.com



Legend Pointe Subdivision Phase 1

910 South Street & 4000 South Street

Engineer Final Plan Review

Completed by Brian Bloemen on March 28, 2019

Plans:

1. Submit a letter from the Davis County Health Department stating the septic tank was properly removed and abandoned prior to recording.
2. The proposed sewer connection in 4000 West is connecting to a North Davis Sewer District main. They shall be contacted for all connection approvals and standards. Their existing main in 4000 West Street is a 36" not a 15" as shown and the District restricts tie in elevations. It is recommended the District be contacted to verify connection standards.
3. The minimum cross section in 4000 West Street is 4" of asphalt on 12" of base.
4. Move the DVS-60S into 900 South Street between SD5 & SD3 north of the culinary main and south of the sewer main.
5. Maximum land drain spacing between manholes is 400 feet.

If you have any further comments or questions, please feel free to contact me at 801-614-9630.

Sincerely,

Brian Bloemen, P.E.
City Engineer



TO: Community Development, Attention: Noah Steele
FROM: Jo Hamblin, Fire Marshal
RE: Legend Pointe Subdivision Phase 1

DATE: March 28, 2019

I have reviewed the plan for the above referenced project. Currently the Fire Prevention Division of this department does not have any concerns.

These plans have been reviewed for Fire Department requirements only. Other departments must review these plans and will have their requirements. This review by the Fire Department must not be construed as final approval from Syracuse City.